



**Application for Community  
Preservation Funding  
For Projects Requesting \$25,000 or more**

1. PROJECT NAME Rehabilitation of Moores Corner Schoolhouse/Museum

2. APPLICANT INFORMATION

Project Sponsor or Organization: Leverett Historical Society

Address: 230 N. Leverett Road

City: Leverett State: MA Zip: 01054

Daytime Phone: 413-800-2739 Fax:       

E-mail: sarar@umass.edu Website: leveretthistorical.org

Property Owner (if different from Applicant)

Contact Name:       

Address:       

City:        State:        Zip:       

E-mail:       

3. PROJECT INFORMATION

CPA Category (Please check all that apply):

- Open Space # of acres
- Historic Preservation
- Recreation # of acres
- Affordable Housing # of units

Project Location/Address: 230 N. Leverett Rd

Leverett Assessors Map: 2 Lot: 88

**Brief Project Description:**

To address the fundamental rehabilitation needs of the 1810 one-room Moores Corner Schoolhouse/Museum as outlined in a jointly funded Mass Cultural Council and CPA building assessment systems replacement grant. A confirming study was conducted by an architectural historian and included in this application.

4. AMOUNT OF CPA FUNDING REQUESTED: \$287,078

**For CPC Use**

Date Received	Funding Recommendation
Date Application Deemed Complete	
Public Hearing	

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## 1. Goals and Description

- a. Project goals: The primary goal of the project is to address the fundamental rehabilitation needs of the 1810 Moores Corner Schoolhouse/Museum ((MCS)) as outlined in the building System Replacement Plan conducted by Olive Branch Consulting and funded jointly by a grant from the Massachusetts Cultural Council ((MCC)) and a matching grant from Town of Leverett Community Preservation funds.
  - b. Description of project activities and outcomes and the property involved and its proposed use: The project activities included in this application include: upgrades to the electrical service; structural repairs;;accessibility modifications;;roof replacement; window repair/replacement; outhouse rehabilitation; exterior repair/painting of the building envelope; fire escape and second floor exit door replacement. The property involved is the One Room Schoolhouse located at 230 N. Leverett Road. The facility will serve as a mock schoolhouse as used up until the 1950s. It will also serve as a meeting place for presentations sponsored by the Leverett Historical Society (LHS)). Further serves as a museum for Leverett related historical artifacts such as the model of the Charcoal Kilns.
  - c. How Project is Eligible for CPA Funding: This is a historical preservation project involving the rehabilitation of an irreplaceable structure that was dedicated to the education of Leverett children.
  - d. Project Applicant: The application is submitted by Sara Robinson, EdD, President and Julia Shively, Treasurer on behalf of the LHS
2. Community Need: At one time there were 10 One Room Schoolhouses dispersed throughout Leverett. The MCS is the sole remaining building that remains in tack or has not been converted to a residence. MCS provides a window into Leverett's past educational practices and methodologies and also contains historical artifacts and documents that are important to the Town's legacy.
  3. Community Support: The LHS has previously applied for CPA funding and has consistently received broad community support. Support letters are included. As needed additional supportive letters can be acquired.
  4. Maintenance: As with any structure there is ongoing maintenance and it is the intent of LHS to fund maintenance through memberships, fund raising events, grants and solicitations. This is included in the SRP Excel financial tool that is being provided to the CPC.
  5. Success Factors: Successful completion of the aforementioned subparts of the overall project and the intent is to have a qualified clerk of the works such as a licensed Professional Engineer and/or Architectural Historian to oversee the successful implementation.
  6. Project Permits & Approvals:
    - a. Control of Site: The appropriate deed is included with this application showing that the site belongs to the LHS
    - b. Deed Restrictions: Appropriate deed restrictions would be filed naming the Leverett Historical Commission as the agency with rights to enforce the restrictions.
    - c. Hazardous Materials: There are no known hazardous materials on site but further assessments will be conducted. For example paint chips tested negative for lead and there is no know asbestos containing material (ACM)on site.

d. Environmental Concerns: No known wetlands , floodplains, and/or any natural resource limitation that occurs within the project boundaries.

e. Evidence of Historic Significance: This 1810 one room schoolhouse is the sole remaining of the 10 original one room schoolhouses in Leverett that has either been torn down or converted to a residence or church building. The structure is the repository for important artifacts and documents pertaining to the history of Leverett.

f. Planned work will be done in accordance with US Secretary of Interior Standards for Rehabilitation. An architectural historian has consulted on this project in addition to a comprehensive System Replacement Plan developed by Olive Branch Consulting and Nonprofit Finance Fund.

g. Permitting: All necessary permitting will be complied with including obtaining the necessary building, electrical and plumbing permits

**C. PROJECT BUDGET, FUNDING, & TIMELINE**

1. **Project Budget:** State the total budget for this project, and how CPA funds will be spent. Provide a detailed itemization of all project expenses, such as personnel, consultants, contracted services, equipment, and supplies. For each item, specify in parentheses how the expense was calculated, e.g. (# of hrs. x cost/hr.) Applicants should obtain at least 2 quotes for project costs when possible; if not, indicate where cost estimates have been used. For each item, identify whether CPA funds or other funding will be used, and note where applicant and/or partner in-kind contributions will cover non-CPA fundable expenses such as administration.

Use table below or include as a separate attachment.

<b>Expense Item</b>	<b>Total</b>	<b>CPA</b>	<b>Other</b>
<b>Roof Related Work</b>	<u>28,938</u>	<u>28,938</u>	
<b>Windows</b>	<u>35,438</u>	<u>35,438</u>	
<b>Structural</b>	<u>29,400</u>	<u>29,400</u>	
<b>Exterior Woodwork</b>	<u>133,928</u>	<u>133,928</u>	
<b>Fire Excape</b>	<u>7,825</u>	<u>7,825</u>	
<b>Electrical</b>	<u>13,125</u>	<u>13,125</u>	
<b>Other (see spreadsheet)</b>	<u>39,375</u>	<u>38,375</u>	1,000
<b>TOTAL</b>	<u>288,078</u>	<u>287,078</u>	

LHS is pursuing estimates from other local contractors yet to be obtained

2. **Other Funding:** Describe efforts to secure other funding. Indicate what additional funding sources are available, committed, or pending. Include commitment letters, if available. Use table below or include as a separate attachment.

<b>Sources of Funds Other than CPA</b>	<b>Amount</b>	<b>Funding Requested (Y/N)</b>	<b>Funding Secured (Y/N)</b>
Ma Cultural Commission	\$8000	Y	Y
Country Sch. Assoc.	\$2200	Y	Y

**3. Total Project Funding:**

If the proposal is part of a multi-phase project, please indicate below the projected project costs and funding sources for the additional phases to completion.

<b>Fiscal Year</b>	<b>Total Project Cost</b>	<b>CPA Funds to be Requested</b>	<b>Other Funding</b>
2023			
2024			
2025	\$288,078	\$287,078	\$1000
2026	0	0	

In accordance with the estimates and spreadsheet provided by Olive Branch for CY 2025, \$288,078 will be needed and \$227,731 in 2030. The amounts to be requested beyond CY 2025 from CPC are yet to be determined. L&F Construction has donated an in-kind contribution of \$25,000 to complete the landscaping work to shed water away from the building.

	<u>2024</u>	<u>2025</u>
<u>Item</u>	Year 1	Year 2
Pitched Metal Roof System	\$ -	\$ 26,880
Pitched Metal Awning	\$ -	\$ 1,008
Church Steeple & Tower	\$ -	\$ 1,050
Aluminum Gutter/Downspout System	\$ -	\$ -
Double Hung Windows	\$ -	\$ 35,438
Exterior Wood Doors	\$ -	\$ -
Exterior Wood Doors	\$ -	\$ -
Interior Wood Doors	\$ -	\$ -
Foundation	\$ -	\$ -
Exterior Walls	\$ -	\$ -
First Floor Structure	\$ -	\$ -
Second Floor Ceiling/Attic/ Roof Deck Structure	\$ -	\$ 29,400
Structural Engineer	\$ -	\$ -
Exterior Woodwork	\$ -	\$ 55,965
Wood Clapboard Siding	\$ -	\$ 77,963
Propane Fired Stove	\$ -	\$ -
Propane Tank	\$ -	\$ -
Cabinet Unit Heaters	\$ -	\$ -
Electrical Panels (Incoming Electrical Service)	\$ -	\$ 5,250
Electrical Distribution	\$ -	\$ 5,250
Lighting	\$ -	\$ 2,625
Fire Alarm System	\$ -	\$ -
	\$ -	\$ -
Sprinkler System	\$ -	\$ -
Fire Pump	\$ -	\$ -
Fire Extinguishers	\$ -	\$ -
Restrooms	\$ -	\$ -
Building Entry	\$ -	\$ 10,500
Chairlift	\$ -	\$ -
Fire Escape Staircase	\$ -	\$ 7,875
Concrete Steps	\$ -	\$ -
Lead Based Paint (LBP)	\$ -	\$ -
Asbestos Containing Material (ACM)	\$ -	\$ -
Floor Finishes	\$ -	\$ -
Exterior Walls (Blown-In)	\$ -	\$ -
Roof deck Insulation	\$ -	\$ -
Energy Consultant	\$ -	\$ -
Variable Refrigerant Flow (VRF) System	\$ -	\$ 18,375
Energy Recovery Ventilator (ERV)	\$ -	\$ -
Mechanical Engineer Consultation	\$ -	\$ -
Outhouse	\$ -	\$ 10,500
	\$0	\$288,078





THE COMMONWEALTH OF MASSACHUSETTS  
OFFICE OF THE ATTORNEY GENERAL  
ONE ASHBURTON PLACE  
BOSTON, MASSACHUSETTS 02108

MAURA HEALEY  
ATTORNEY GENERAL

(617) 727-2200  
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[www.mass.gov/ago](http://www.mass.gov/ago)

LEVERETT HISTORICAL SOCIETY  
PO Box 57  
LEVERETT, MA 01054

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**Certificate for Solicitation**

This certificate has been issued to the organization listed below because it is current in its filings with the Attorney General's Division of Non-Profit Organizations/Public Charities. This registration in no manner constitutes endorsement or approval by the Commonwealth of Massachusetts of the named organization.

Name of organization: LEVERETT HISTORICAL SOCIETY  
Certificate End Date: 01/15/2023  
Attorney General's Account Number: 005207

Issued By  
The Division of Non-Profit Organizations/Public Charities

I, John Robert Watson, of

of Bernardston, Franklin County, Massachusetts  
 no monetary  
 being unmarried, for consideration ~~of \$1000.00~~

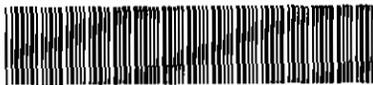
grants to Leverett Historical Society, a charitable corporation duly organized under the laws of the Commonwealth of Massachusetts and having its usual place of business on North Leverett Road, in Leverett, Franklin County, Massachusetts, with warranty covenants all my right, title and interest in and to, the land in Leverett, Franklin County, Massachusetts, situate on the northwesterly side of the highway leading from Moores Corner to Locks Village; bounded and (Description and encumbrances, if any) described as follows:

BEGINNING at the southwesterly corner thereof at an iron pin by the southwesterly side of a large boulder on the northwesterly side of the highway leading from Moores Corner to Locks Village; thence running thirty degrees (30°) by land of said Watson, a distance of two (2) rods and one (1) link to an iron pin and stone; thence running South eighty-four degrees, fifty-five minutes East (S. 84° 55' E.) by land of said Watson and land of Moores Corner Congregational Church, thirteen (13) rods and ten (10) links to an iron pin and stones being the southeast corner of said church land; thence running South five degrees, West twenty links (S. 5° - 20 Links) to an iron pin and stones on said highway; thence running westerly on said highway, a distance measured on the easterly line of the traveled way fourteen (14) rods and fourteen (14) links to the place of beginning. Containing one-eighth (1/8) of an acre more or less.

Title of John Robert Watson is as sole heir and devisee under the Will of Glon K. Watson. Said Glon K. Watson acquired title as devisee under the Will of John Watson otherwise known as J. Wesley Watson. Franklin County probate court case #26922.

THIS deed is given to replace a deed originally given by Glon K. Watson to J. W. LaClaire dated December 23, 1953. Said deed from Glon K. Watson to J. W. LaClaire was never recorded and since that time said J. W. LaClaire has died. It is the desire of the heirs of J. W. LaClaire that this property be deeded to the Leverett Historical Society.

There being no monetary consideration for this conveyance no State Documentary Stamp is affixed or required.



1974 00007916

Bk: 1413 Pg: 261 Doc:DEED  
 Page 1 of 2 12/27/1974 10:59AM

Witness my hand and seal this 25th day of November, 1974

*John Robert Watson*  
John Robert Watson



*[Faint, mostly illegible text, possibly a deed or instrument]*

The Commonwealth of Massachusetts

Franklin,

at

November 25, 1974

Then personally appeared the above named

John Robert Watson

and acknowledged the foregoing instrument to be

his free act and deed, before me

*[Signature]*  
Notary Public



My commission expires February 29, 1975

Franklin ss. Rec'd for record 10 Hr 59 Min A M December 27, 1974

Map 2 Lot 0 Black 88

1 of 1 RESIDENTIAL  
Town of Leverett  
CARD

Total Card / Total Parcel  
161,900 / 161,900  
APPROXED: 161,900 / 161,900  
USE VALUE: 161,900 / 161,900  
ASSESSED: 161,900 / 161,900



**PROPERTY LOCATION**

No	Alt No	Direction/Street/City
230		NORTH LEVERETT RD, LEVERETT

**OWNERSHIP**

Owner #	Owner Name
1	LEVERETT HISTORICAL SOCIETY
2	
3	

Street 1: 230 NORTH LEVERETT ROAD  
Street 2:

**Town/City/State**

Town/City	MA	Cherry	Own Occ: N
Postal	01054		Type:

**PREVIOUS OWNER**

Owner #	Owner Name	Street 1	Town/City	State
1	Owner 1			
2	Owner 2			
3	Owner 3			

**NARRATIVE DESCRIPTION**  
This parcel contains .13 ACRES of land mainly classified as MUSEUMS with a COLONIAL Building built about 1810, having primarily CLAPBOARD Exterior and 1518 Square Feet, with 1 Unit, 0 Bath, 0 3/4 Bath, 0 HalfBath, 0 Rooms, and 0 Bdrm.

**OTHER ASSESSMENTS**

Code	Description	Amount	Com. Int.

**PROPERTY FACTORS**

Item	Code	Description	%	Item	Code	Description
Z		water				
0		Sewer				
n		Electric				
		Empty				
		Flood Haz.				
D		T000				
S		Street				
1		Gas				

**LAND SECTION (First 7 lines only)**

Use Code	LLC	No of Units	Depth/ Pct	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj. Value	Neigh. Intlu	Neigh. Mod	Int 1 %	Int 2 %	Int 3 %	Appraised Value	Alt. Class	Spec. Land Code	Fed. Use Value	Notes
956	MUSEUMS	86		SQUARE FEESITE		0	1.18	9,116	105	1.05					60,875			60,900	
956	MUSEUMS	86		FRONT FEESITE		0	0	0,006	105	1.05									
956	MUSEUMS	70		FRONT FEESITE		0	0	0,006	105	1.05									

**IN PROCESS APPRAISAL SUMMARY**

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
956	0.130	101,000		60,900	161,900

**PREVIOUS ASSESSMENT**

Tax Yr.	Use	Cat.	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Assesd Value	Notes
2022	956	FRCH	89,700	0	.13	58,000	147,700	147,700	6/7/2021
2021	956	FV	89,700	0	.13	58,000	147,700	147,700	1/14/2021
2020	956	FV	88,000	0	.13	58,000	146,000	146,000	1/13/2020
2019	956	fv	88,000	0	.13	50,800	138,800	138,800	12/6/2018
2018	956	FV	88,000	0	.13	50,800	138,800	138,800	11/7/2017
2017	956	FV	88,000	0	.13	50,800	138,800	138,800	12/19/2016
2016	956	FV	88,000	0	.13	50,800	138,800	138,800	12/1/2015
2015	956	FV	88,000	0	.13	50,800	138,800	138,800	1/9/2015

**SALES INFORMATION**

Grantor	Legal Ref.	Type	Date	Sale Code	Sale Price	V. Tst.	Verif.

**TAX DISTRICT**

Parcel ID	2-0-88
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**BUILDING PERMITS**

Date	Number	Descr	Amount	CO	Last Vst.	Fed. Code	F. Descr	Comment

**ACTIVITY INFORMATION**

Date	Result	By	Name

**APPROVALS**

Parcel LUC	MUSEUMS	Prime NE Descr	Total
956			60,875

**USER DEFINED**

Prior Id # 1:	Prior Id # 2:	Prior Id # 3:	Prior Id # 4:	Prior Id # 5:	Prior Id # 6:	Prior Id # 7:	Prior Id # 8:	Prior Id # 9:	Prior Id # 10:

**PRINT**

Date	Time
01/19/22	07:37:53

**LAST REV**

Date	Time
10/31/17	15:06:59

**PAT ACCT.**

Notes	327
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Disclaimer: This information is believed to be correct but is subject to change and is not warranted. Database: AssessPro - Leverett 2022

Original yellow form: Eligibility file  
Copies: Inventory form  
Town file (w/ corresp.)  
Macris  
NR director \_\_\_\_\_

Community: Leverett

**MHC OPINION: ELIGIBILITY FOR NATIONAL REGISTER**

Date Received: 6.12.09                      Date Due:                      Date Reviewed: 7.1.2009

Type:               Individual                        X   District (Attach map indicating boundaries)

Name: Moore's Corner                      Inventory Form: LEV.A, 45 – 54, 86, 804

Address: North Leverett, Church Hill, Dudleyville, Rattlesnake Gutter Road

Requested by: Betsy Douglas for the Leverett Historical Commission

Action:              X   Honor               ITC               Grant               R & C              X   Other: PR

Agency:                                      Staff in charge of Review: Betsy Friedberg

**INDIVIDUAL PROPERTIES**

**DISTRICTS**

- Eligible
- Eligible, also in district
- Eligible   only   in district
- Ineligible
- More information needed

- X   Eligible
- Ineligible
- More information needed

**CRITERIA:**                        X   A                         B                        X   C                         D

**LEVEL:**                        X   Local                         State                         National

**STATEMENT OF SIGNIFICANCE** by Karen L. Davis

Moore's Corner retains integrity and meets criteria A & C for listing in the National Register of Historic Places. It is significant as a small 19<sup>th</sup> century industrial village. Situated at the junction of four roads along the Sawmill River, it is one of three small industrial villages in Leverett.

The district includes at least 12 principal buildings, as well as a cemetery that meets criterion consideration D. Among the buildings are 2 former mills associated with the Moore and Watson families, a Queen Anne-style church, and a Greek Revival-style school. Houses—primarily in the Federal and Greek Revival styles—are associated with the mill owners as well as workers, doctors, town selectman, deacons, and ministers. A number of residential properties retain barns.

Actual district boundaries need to be confirmed.



## HISTORIC PRESERVATION RESTRICTION AGREEMENT

**THIS HISTORIC PRESERVATION RESTRICTION AGREEMENT** is made this 27 day of May, 2014 by and between the **TOWN OF LEVERETT**, by and through the **LEVERETT HISTORICAL COMMISSION**, with an address of Leverett Town Hall, 9 Montague Road, Leverett, MA 01054 (hereinafter "Grantee") and **LEVERETT HISTORICAL SOCIETY**, a nonprofit Massachusetts corporation, with an address of 228 North Leverett Road, Leverett, MA 01054 (hereinafter "Grantor").

### WITNESSETH:

WHEREAS, Grantor is the owner in fee simple of certain real property, located at 228 North Leverett Road in the Town of Leverett, Franklin County, Commonwealth of Massachusetts, (hereinafter known "the Property"), more particularly described in a deed dated April 26, 1968 from the Town of Leverett to the Leverett Historical Society recorded in the Franklin County Registry of Deeds, Book 1224, Page 541 and in Exhibit A, attached hereto and incorporated herein by this reference, said Property including the following structures (herein together "the Building.")

The Building is a wood frame, two-story Greek Revival style structure dating from 1810, known as the Moore's Corner Schoolhouse and Leverett Historical Society Museum. It was built as a combination church and schoolhouse and is residential in scale. The side entry on the three bay façade is unusual for the period and indicates its original use. Greek Revival elements are the paneled corner pilasters, which have a tabernacle motif beneath the capitals, and the wide frieze board at the cornice. The eaves make a full return to form a pediment in the gable end. The door surround is composed of paneled pilasters beneath an entablature. Enlarged stairs and a portico supported by wrought iron was added in the 1960s and serve as an entry. In 2007 a replica of the bell tower was made, using early photographs, and erected to house the original school bell. To the east of the Schoolhouse is a small rectangular one story wood frame structure known as the Outhouse. It has a metal roof slanted upward from south to north and two wood doors on the taller north side.

WHEREAS, the Building, has been recognized by the Leverett Historical Commission as a significant building;

WHEREAS, because of its architectural, historic, and cultural significance the Building is an important contributor to the village of Moore's Corner and serves as a museum and meeting room for the Leverett Historical Society;

WHEREAS, preservation of the Building in its restored state will contribute to the preservation and maintenance of the character of this important and historic part of Leverett for the enjoyment of the general public;

WHEREAS, Grantor and Grantee recognize the architectural, historic and cultural values (hereinafter "preservation values") and significance of the

Building, and have the common purpose of conserving and preserving the aforesaid preservation values and significance of the Building;

WHEREAS, The Grantor wishes to impose certain restrictions, obligations and duties upon it as owner of the Building and on the successors to its right, title and interest therein, with respect to maintenance, protection, and preservation of the Building in order to protect the architectural and historical integrity thereof;

WHEREAS, the Baseline Documentation shall consist of the following: (1) Massachusetts Historical Commission Inventory form B, prepared by Annette N. Gibavic, dated May 1993 (Exhibit B); and (2) photographs of the Building and the Property taken on March 24, 2013 from the files of the Leverett Historical Commission (Exhibit C). Exhibits B and C are attached hereto and incorporated herein by this reference.

WHEREAS, The Town of Leverett and its agent, the Leverett Historical Commission are governmental bodies organized under the laws of the Commonwealth of Massachusetts and authorized to accept these preservation restrictions as the Grantee, under M.G.L. Chapter 184, Sections 31, 32 and 33, (hereinafter "the Act"), and to administer, manage and enforce this preservation agreement;

NOW, THEREFORE, in consideration of \$6,126, paid by the Town of Leverett from Community Preservation Act funds, and the mutual covenants, terms, conditions, and restrictions contained herein, and pursuant to M.G.L. chapter 184, sections 31, 32, and 33, Grantor does hereby voluntarily grant and convey unto the Grantee this preservation restriction (hereinafter "the Restriction") in gross in perpetuity over the exterior of the Building on the Property.

1. **Purpose.** It is the Purpose of this Restriction to assure that the exterior architectural, historic, and cultural features of the Building will be retained and maintained forever substantially in their restored condition.

## TERMS OF THE PRESERVATION RESTRICTION

**2.1 Maintenance of the Building:** The Grantor agrees to assume the total cost of continued maintenance repair and administration of the Building so as to preserve the characteristics which contribute to the architectural, and historical integrity of the Building in a manner satisfactory to the Grantee according to *the Secretary of the Interior's Standards for the Treatment of Historic Properties, with Guidelines for preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (36CFR 67 and 68)*, as these may be amended from time to time (hereinafter "the Secretary's Standards"). The Grantor may seek financial assistance from any source available to it. The Grantee does not assume any obligation for maintaining, repairing or administering the Building.

**2.2 Inspection:** The Grantor agrees that the Grantee may inspect the Building from time to time upon reasonable notice to determine whether the Grantor is in compliance with the terms of this agreement.

**2.3 Alterations:** The Grantor agrees that no alterations shall be made to the exterior of the Building, unless (a) clearly of a minor nature and not affecting the characteristics which contribute to the architectural or historical integrity of the Building, or (b) The Grantee has previously determined that it will not impair such characteristics after reviewing plans and specifications submitted by the Grantor, or (c) required by casualty or other emergency reported to the Grantee within fourteen (14) days of the damage or destruction. No repairs or reconstruction, other than emergency work to prevent further damage, shall be undertaken by the Grantor without Grantee's prior written approval. Ordinary maintenance and repair may be made without written permission of the Grantee. For purposes of this section, interpretation of what constitutes alterations of a minor nature and ordinary maintenance and repair is governed by the Restriction Guidelines, attached hereto and incorporated herein by this reference as Exhibit D.

**2.4 Notice and Approval:** Whenever approval by the Grantee is required under this restriction, Grantor shall request in writing specific approval by the Grantee not less than thirty (30) days prior to the date the Grantor intends to undertake the activity in question. A request for such approval by the Grantor shall be reasonably sufficient as basis for the Grantee to approve or disapprove the request. The notice shall describe the nature, scope, design, location, timetable and any other material aspect of the proposed activity in sufficient detail to permit the Grantee to make an informed judgment as to its consistency with the purposes of this Preservation Restriction. Within thirty (30) days of receipt of Grantor's reasonably sufficient request for said approval, the Grantee

shall, in writing, grant or withhold its approval, or request additional information relevant to the request and necessary to provide a basis for its decision. However, should the Grantee determine additional time is necessary in order to make its decision, the Grantee shall notify the Grantor. The Grantee's approval shall not be unreasonably withheld, and shall be granted upon a reasonable showing that the proposed activity shall not materially impair the purpose of this Preservation Restriction. Failure of the Grantee to make a decision within sixty (60) days from the date on which the request is accepted by the Grantee or notice of a time extension is received by the Grantor, shall be deemed to constitute approval of the request as submitted, so long as the request sets forth the provisions of this section relating to deemed approval after the passage of time, the requested activity will not materially impair the Preservation Restriction, and the requested activity is not prohibited herein.

**2.5 Grantor's Covenants: Prohibited Activities.** The following acts or uses are expressly forbidden on, over, or under the Property, except as otherwise conditioned in this paragraph:

- (a) the Building or any part thereof shall not be demolished, removed, or razed (by affirmative action or through neglect or failure to repair and maintain).
- (b) The dumping of ashes, trash, rubbish, or any unsightly or offensive materials is prohibited on the property.

**2.6 Insurance.** Grantor shall keep the Building insured by an insurance company rated "A1" or better by Best's for the full replacement value against loss from perils commonly insured under standard fire and extended coverage policies and comprehensive general liability insurance against claims for personal injury, death, and property damage. Property damage insurance shall include change in condition and building ordinance coverage, in form and amount sufficient to replace fully the damaged Building without cost or expense to Grantor or contribution or coinsurance from Grantor.

**3. Grantor's Reserved Rights Not Requiring Further Approval by Grantee.** Subject to the provisions of paragraphs 2.1, 2.3 and 2.4, the following rights, uses, and activities of or by Grantor on, over, or under the Property are permitted by this Restriction and by Grantee without further approval by Grantee:

- (a) the right to engage in all those activities and uses that: (i) are permitted by governmental statute or regulation; (ii) do not substantially impair the preservation values of the Building, and (iii) are not inconsistent with the Purpose of this Restriction;
- (b) the right to maintain and repair the exterior of the Building strictly according to the Secretary's Standards, provided that the Grantor use in-kind materials and colors, applied with workmanship comparable to that which was used in the construction or application of those materials being repaired or

maintained, for the purpose of retaining in good condition the appearance and construction of the exterior of the Building. Changes in appearance, materials, colors or workmanship from that existing prior to the maintenance and repair require the prior approval of the Grantee.

(c) the right to make changes of any kind to the interior of the Building.

**4. Grantee's Remedies.** Grantee may, after thirty (30) days' prior written notice to Grantor, institute suit(s) to enjoin any violation of the terms of this Restriction by ex parte, temporary, preliminary, and/or permanent injunction, including prohibitory and/or mandatory injunctive relief, and to require the restoration of the Building to the condition and appearance that existed prior to the violation complained of. Grantee shall also have available all legal and other equitable remedies to enforce Grantor's obligations hereunder.

**5. Runs with the Land.** The obligations imposed by this Restriction shall be effective in perpetuity and shall be deemed to run as a binding servitude with the Property. This Restriction shall extend to and be binding upon Grantor and Grantee, their respective successors in interest and all persons hereafter claiming under or through Grantor and Grantee, and the words "Grantor" and "Grantee" when used herein shall include all such persons. Any right, title, or interest herein granted to Grantee also shall be deemed granted to each successor and assign of Grantee and each such following successor and assign thereof, and the word "Grantee" shall include all such successors and assigns.

**6. Assignment.** Grantee may convey, assign, or transfer this Restriction to a unit of federal, state, or local government or to a similar local, state, or national organization that is a "qualified organization" that qualifies under the Act as an eligible donee whose purposes, *inter alia*, are to promote preservation or conservation of historical, cultural, or architectural resources, provided that any such conveyance, assignment, or transfer requires that the Purpose for which the Restriction was granted will continue to be carried out as a condition of the transfer. Grantor shall give prior written approval of such conveyance, assignment, or transfer by Grantee, such approval not to be unreasonably withheld.

**7. Recording and Effective Date.** Grantor shall do and perform at its own cost all acts necessary to the prompt recording of this instrument in the land records of the Franklin District Registry of Deeds. Grantor and Grantee intend that the restrictions arising under this Restriction take effect on the day and year this instrument is recorded in the land records of the Franklin District Registry of Deeds.

**8. Amendment.** If circumstances arise under which an amendment to or modification of this Restriction would be appropriate, Grantor and Grantee may by mutual written agreement jointly amend this Restriction, provided that no amendment shall be made that will adversely affect the qualification of the Restriction or the status of Grantee under the laws of the Commonwealth of Massachusetts. Any such amendment shall be consistent with the protection of the preservation values of the Building and the Purpose of this Restriction; shall not affect its perpetual duration; shall not permit any private inurement to any person or entity; and shall not adversely impact the overall architectural, historic, natural habitat, and open space values protected by this Restriction. Any such amendment shall be effective when the requirements of the Act with respect to amendments have been met and the amendment is recorded in the land records of the District of Franklin. Nothing in this paragraph shall require Grantor or Grantee to agree to any amendment or to consult or negotiate regarding any amendment.

**9. Standards for Review.** In exercising any authority created by the Restriction to inspect the Property; to review any construction, alteration, repair or maintenance; or to review casualty damage or to reconstruct or approve reconstruction of the Building following casualty damage, Grantee shall apply the Secretary's Standards.

**10. Casualty Damage or Destruction.** In the event that the exterior street side façade of the Building or any part thereof shall suffer major damage or destruction by fire, flood, windstorm, hurricane, earth movement, or other casualty, Grantor shall notify Grantee in writing within fourteen (14) days of the damage or destruction or such reasonable time thereafter, depending upon the circumstances of the damage or destruction, such notification including what, if any, emergency work has already been completed. No repairs or reconstruction of any type, other than temporary emergency work to prevent further damage to the Building and to protect public safety, shall be undertaken by Grantor without Grantee's prior written approval. Within ninety (90) days of the date of damage or destruction, if required by Grantee, Grantor at its expense shall submit to the Grantee a written report prepared by a qualified restoration architect and an

engineer who are acceptable to Grantor and Grantee, which report shall include the following:

- (a) an assessment of the nature and extent of the damage;
- (b) a determination of the feasibility of the restoration of the Building and/or reconstruction of damaged or destroyed portions of the Building and Property; and
- (c) a report of such restoration/reconstruction work necessary to return the Building to the condition existing as of the date hereof or the condition subsequently approved by the Grantee.

**11. Review After Casualty Damage or Destruction.** If, after reviewing the report provided in paragraph 10 and assessing the availability of insurance proceeds after satisfaction of any mortgagee's/lender's claims, Grantor and Grantee agree that the Purpose of the Restriction will be served by such restoration/reconstruction, Grantor and Grantee shall establish a schedule under which Grantor shall complete the restoration/reconstruction of the Building in accordance with plans and specifications consented to by the parties up to at least the total of the casualty insurance proceeds available to Grantor.

If, after reviewing the report and assessing the availability of insurance proceeds after satisfaction of any mortgagee's/lender's claims under paragraph 10, Grantor and Grantee agree that restoration/reconstruction of the Building is impractical or impossible, or agree that the Purpose of the Restriction would not be served by such restoration/reconstruction, Grantor may, with the prior written consent of the Grantee, alter, demolish, remove, or raze the Building, and/or construct new improvements on the Property. Grantor and Grantee may then agree to extinguish this Restriction in whole or in part in accordance with the laws of the Commonwealth of Massachusetts and paragraph 14 hereof.

If, after reviewing the report and assessing the availability of insurance proceeds after satisfaction of any mortgagee's/lender's claims under paragraph 10, Grantor and Grantee are unable to agree that the Purpose of the Restriction will or will not be served by such restoration/reconstruction, the matter may be referred by either party to binding arbitration and settled in accordance with the Commonwealth of Massachusetts's arbitration statute then in effect.

**12. Insurance.** Grantor shall keep the Building insured by an insurance company rated "A1" or better by Best's for the full replacement value against loss from perils commonly insured under standard fire and extended coverage policies and comprehensive general liability insurance against claims for personal injury, death, and property damage. Property damage insurance shall include change in condition and building ordinance coverage, in form and amount sufficient to replace fully the damaged Building without cost or expense to Grantor or contribution or coinsurance from Grantor. Grantor shall deliver to Grantee, within ten (10) business days of Grantee's written request thereof, certificates of such insurance coverage. Provided, however, that whenever the Property is encumbered with a mortgage or deed of trust, nothing contained in

this paragraph shall jeopardize the prior claim, if any, of the mortgagee/lender to the insurance proceeds.

**13. Indemnification.** Grantor hereby agrees to pay, protect, indemnify, hold harmless and defend at its own cost and expense, Grantee, its agents, directors, officers, and employees, or independent contractors from and against any and all claims, liabilities, expense, costs, damages, losses, and expenditures (including reasonable attorney's fees and disbursements hereafter incurred) arising out of or in connection with injury to or death of any person as a result of the existence of this Restriction; physical damage to the Property; the presence or release in, on or about the Property, at any time, of any substance now or hereafter defined, listed or otherwise classified pursuant to any law, ordinance, or regulation as a hazardous, toxic, polluting, or contaminating substance; or other injury, death or other damage occurring on or about the Property; unless such injury, death or damage is caused by Grantee or any agent, director, officer, employee, or independent contractor of Grantee. In the event that Grantor is required to indemnify Grantee pursuant to the terms of this paragraph, the amount of such indemnity, until discharged, shall constitute a lien on the Property with the same effect and priority as a mechanic's lien.

**14. Extinguishment.** Grantor and Grantee hereby recognize that an unexpected change in the conditions surrounding the Property may make impossible the continued Grantorship or use of the Property for the Purpose of this Restriction and necessitate extinguishment of the Restriction. Such a change in conditions may include, but is not limited to, partial or total destruction of the Building resulting from casualty. Such an extinguishment must meet the requirements of the Act for extinguishment, including approval of the Massachusetts Historical Commission following a public hearing to determine that such extinguishment is in the public interest. In the event of a sale of the Property, net proceeds of such sale shall be paid to Grantor.

**15. Interpretation.** The following provisions shall govern the effectiveness, interpretation, and duration of the Restriction.

(a) Any rule of strict construction designed to limit the breadth of restrictions on alienation or use of Building shall not apply in the construction or interpretation of this Restriction, and this instrument shall be interpreted broadly

to effect its Purpose and the transfer of rights and the restrictions on use herein contained.

(b) This instrument may be executed in two counterparts, one of which may be retained by the Grantor, and the other, after recording, to be retained by the Grantee. In the event of any disparity between the counterparts produced, the recorded counterpart shall in all cases govern. Except as provided in the preceding sentence, each counterpart shall constitute the entire Restriction of the parties.

(c) This instrument is made pursuant to the Act, but the invalidity of such Act or any part thereof shall not affect the validity and enforceability of this Restriction according to its terms, it being the intent of the parties to agree and to bind themselves, their successors, and their assigns in perpetuity to each term of this instrument whether this instrument be enforceable by reason of any statute, common law, or private Restriction in existence now or at any time subsequent hereto.

(d) Nothing contained herein shall be interpreted to authorize or permit Grantor to violate any ordinance or regulation relating to building materials, construction methods, or use. In the event of any conflict between any such ordinance or regulation and the terms hereof, Grantor promptly shall notify Grantee of such conflict and shall cooperate with Grantee and the applicable governmental entity to accommodate the purposes of both this Restriction and such ordinance or regulation.

If any court or other tribunal determines that any provision of this instrument is invalid or unenforceable, such provision shall be deemed to have been incorporated herein automatically to conform to the requirements for validity and enforceability as determined by such court or tribunal. In the event any provision invalidated is of such nature that it can be modified, the provision shall be deemed deleted from this Preservation Restriction as though it had never been included herein. In either case, the remaining provisions of this instrument shall remain in full force and effect.

**16. Archeological Activities.** The conduct of archeological activities including without limitation survey, excavation, and artifact retrieval, may occur only following the submission of an archeological field investigation plan prepared by Grantor and approved in writing by Grantee and the State Archaeologist of the Massachusetts Historical Commission. (M.G.L. c. 9, s. 27C and 950 C.M.R. 70.00)

THIS RESTRICTION reflects the entire agreement of Grantor and Grantee. Any prior or simultaneous correspondence, understandings, agreements, and representations are null and void upon execution hereof, unless set out in this instrument.

TO HAVE AND TO HOLD, the said Historic Preservation Restriction, unto the said Grantee and its successors and permitted assigns forever. This HISTORIC PRESERVATION RESTRICTION AGREEMENT may be executed in two counterparts and by each party on a separate counterpart, each of which when so executed and delivered shall be an original, but both of which together shall constitute one instrument.

GRANTOR:  
Leverett Historical Society

BY: Edith A. Field  
Edith A. Field, Co-President

On this 5<sup>th</sup> day of May, 2014, before me, the undersigned notary public, personally appeared Edith A. Field, who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or  my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by her voluntarily for its stated purpose, as duly authorized Co-President, Leverett Historical Society.

  
Notary Public  
My Commission Expires:

Marjorie E. McGinnis  
My Commission Expires  
June 4, 2015

**APPROVAL AND ACCEPTANCE BY SELECTMEN OF THE TOWN OF LEVERETT**

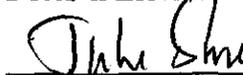
We, the undersigned being a majority of the members of the Board of Selectmen of the Town of Leverett, Massachusetts, hereby certify that at a meeting held on May 13, 2014, we voted to approve and accept the foregoing Historic Preservation Restriction by the Town of Leverett by and through the Leverett Historical Commission, pursuant to Massachusetts General Laws, chapter 184, section 32, and also hereby certify at said meeting we made a finding that this Restriction is in the public interest.

Board of Selectmen of the Town of Leverett

BY:

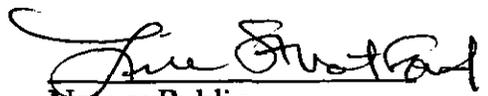
  
Richard Brazeau

  
Peter d'Errico

  
Julia Shively

Franklin, ss.

On this 27<sup>th</sup> day of May, 2014, before me, the undersigned notary public, personally appeared Richard Brazeau who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or X my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by him voluntarily for its stated purpose, as Selectman, Town of Leverett.

  
Notary Public  
My Commission Expires: 6/20/19

Franklin, ss.

On this 27 day of May, 2014, before me, the undersigned notary public, personally appeared Peter d'Errico, who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or X my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by him voluntarily for its stated purpose, as Selectman, Town of Leverett.

Jim Stratford  
Notary Public  
My Commission Expires: 6/20/19

Franklin, ss.

On this 27 day of May, 2014, before me, the undersigned notary public, personally appeared Julia Shively, who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or X my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by her voluntarily for its stated purpose, as Selectman, Town of Leverett.

Jim Stratford  
Notary Public  
My Commission Expires: 6/20/19

ACCEPTANCE BY THE LEVERETT HISTORICAL COMMISSION

BY:



Susan Mareneck  
Chair, Leverett Historical Commission

Franklin, ss.

On this 12 day of May, 2014, before me, the undersigned notary public, personally appeared Susan Mareneck, who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or X my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by her voluntarily for its stated purpose, as duly authorized Chair, Leverett Historical Commission.



Notary Public  
My Commission Expires:

June 20, 2019



**APPROVAL BY  
MASSACHUSETTS HISTORICAL COMMISSION  
COMMONWEALTH OF MASSACHUSETTS**

The undersigned Executive Director and Clerk of the Massachusetts Historical Commission hereby certifies that foregoing preservation restriction has been approved pursuant to Massachusetts General Law, chapter 184, section 32.

*Brona Simon*

\_\_\_\_\_  
Brona Simon  
Executive Director and Clerk  
Massachusetts Historical Commission

Suffolk, ss.

On this 2<sup>nd</sup> day of June, 2014, before me, the undersigned notary public, personally appeared Brona Simon, who proved to me through satisfactory evidence of identification being (check whichever applies): \_\_\_ driver's license or other state or federal government document bearing a photographic image, \_\_\_ oath or affirmation of a credible witness known to me who knows the above signatory, or  my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by her voluntarily for its stated purpose, as Executive Director and Clerk, Massachusetts Historical Commission.

*Nancy Maida*

\_\_\_\_\_  
Notary Public  
My Commission Expires:

*January 25, 2019*

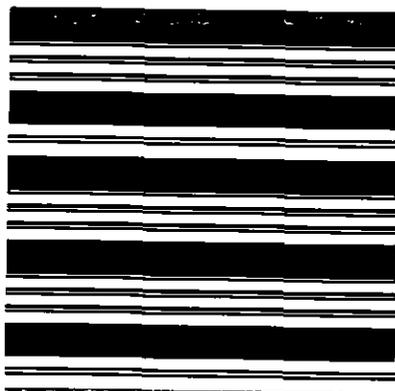
**EXHIBITS**

**EXHIBIT A: Legal Property Description**

**EXHIBIT B: Massachusetts Historical Commission Inventory Form B.**

**EXHIBIT C: Photographs of the Building taken March 24, 2012**

**EXHIBIT D: Restriction Guidelines**



LEVERETT

# Restoring a storehouse of memories

## Father-daughter masons pitch in on former schoolhouse-turned-museum

By **SCOTT MERZBACH**  
Staff Writer

**LEVERETT** — Decades ago, when children were still taught in the Moore's Corner Schoolhouse, Richard Carey was among the students who trekked to the North Leverett Road site every day.

For his granddaughter Gina Lombardi, growing up in a later generation in Leverett, the schoolhouse was an important part of the memories he shared.

"My grandfather lived up the road and would walk down and light the wood fire early in the morning," Lombardi said, speaking from the roof of the building on Monday afternoon, where she continued work to restore the 1810 building's chimney.

With her father, Dennis Lombardi, and assistant Mat Munson, the trio are providing volunteer labor for the Leverett Historical Society, which converted the schoolhouse in 1968 into a museum that houses its collection, including paper records, as well as exhibits on the town's nearly 250-year history.

Dennis Lombardi, who has made his home in Leverett for more than 50 years, said the project is about showing appreciation for the town's history and offering a service, as both he and his daughter work professionally as masons.

"I've lived here for many years and people who know me know I'm the local mason," Dennis Lombardi said. "We're trying to restore the building and raise awareness."

For Sara Robinson, president of the Leverett Historical Society, the repair of the chimney, which had been leaking, is a generous gift coming out of the pandemic.

"We are trying to get things revitalized up there and restored," said Robinson, whose mother, Clarissa LaClaire, taught at the schoolhouse during the 1937-1938 school year.

As part of the restoration effort, the society is making an application for Community



STAFF PHOTOS/PAUL FRANZ

The first floor of the former schoolhouse appears ready to welcome students.



Gina Lombardi works on the chimney with her father, Dennis Lombardi.

Preservation Act funding from the town for various work, including on the foundation, securing the building envelope, scraping and painting the exterior, and even keeping

*"My grandfather lived up the road and would walk down and light the wood fire early in the morning."* — GINA LOMBARDI

the outhouse in shape.

Events are again being scheduled at the site, too. On the evening of Oct. 18, a program will be dedicated to Harold Chapin, who for decades ran Chapin's Store in North Leverett center. The program will read poetry and witticisms that Chapin wrote on cigarette cartons, while people will be able to offer reflections on his decades of service to the community until his death in the early 1990s.

Dennis Lombardi said the work being

SEE LEVERETT A6



STAFF PHOTO/PAUL FRANZ

Mat Munson and Gina Lombardi, both of Wendell, rebuild the chimney on the former schoolhouse in Moore's Corner, currently the Leverett Historical Society Museum.

## Leverett

FROM A3

done will keep the building historically accurate, meaning that almost all of the bricks in the chimney above the roofline, which were removed, are being reused. "We took them down and cleaned them up," he said.

The first day on the job included salvaging the bricks and then putting them back in place with mortar. They are using trowels, hammers, a level and a chisel, the same tools that he points out were used to build the pyramids in ancient Egypt.

Still, Gina Lombardi observes that doing such bricklaying is a dying art.

"There's a big need for it because there are so many repairs, but it's a specialty thing," she said. "The bulk of my work is repairing chimneys and roofs."

The project is expected to be complete in 2½ days. Once the masonry is done, flashing will be installed around it on the roof, the staging will be taken down and the area will be cleaned.

Though the chimney is being restored, it will not be used again for a woodstove, but instead for a gas heater.

Growing up in Leverett,

and now a Wendell resident, Gina Lombardi recalls visiting the museum when its late curator, Dan Bennett, would hold open houses and have talks about its history. It was one of nine in use before 1950, when a unified school opened in Leverett center.

The first floor remains set up like a classroom, with original desks, while the upper floor is an exhibit hall showcasing artifacts, including a model of the town's famed coke kilns and an unused bag from which the charcoal would be sold; signs from the town's 200th anniversary in 1974; a historic post office box display; and a vintage baby crib found on Brushy Mountain that likely was used by an early settler.

The building has gotten some attention in the past. In 2007, the belfry was restored at the schoolhouse, bringing the site back to its original appearance. Dennis Lombardi notes that the bell, which was reattached at the time, can still be rung by pulling on its rope, much as it would have been when the building was a working school.

Though Richard Carey died in 2020, his story about lighting the wood fire in the schoolhouse has continued to be passed on, Dennis Lombardi said, observing that his granddaughter, Loretta, 9, is able to share in the memory.



TOWN OF LEVERETT  
Massachusetts 01054

# LEVERETT HISTORICAL COMMISSION

The Leverett Historical Society LETTER OF SUPPORT  
CPA FUNDING 2024-25 proposal  
MOORE'S CORNER SCHOOLHOUSE preservation

1 March 2024

To Leverett Community Preservation Commissioners:

## MEMBERS

Carole DeSanti  
Eva Gibavic  
Susan Lynton  
Susan Mareneck  
Sara Robinson  
Anne Schuyler  
Ann Tweedy

## Honorary Members

Silas Ball  
Edie Field

The Historical Commission would like to recommend that you, the CPC, approve the Historical Society's 2024-25 application for funding to protect the envelope of the Moore's Corner Schoolhouse. Though a small amount of funding went towards an earlier good faith effort by volunteers to do the same over a decade earlier, the \$6,000 that was allocated at that time for repairs and painting, did not resolve the issue of continued deterioration of the shell of the building. Now that the Historical Society has engaged engineers in a professional Conditions Assessment through a MA Cultural Facilities grant, the contractors who will be chosen to do the work this time will assure that the Secretary of the Interior Standards are met and the Society has promised that the work will be maintained in an appropriate manner in the future.

Since the Moore's Corner Schoolhouse is the last remaining historic icon of the ten schools that nurtured education in Leverett over the past 250 years, it is a fitting activity for this anniversary year! Beyond its function as a school, the building also contributed to Leverett and the nation's religious history, since Unitarianism was a religious break-away movement in the early 19th century which Leverett was a participant in.

We look forward to the continuing rehabilitation of the Schoolhouse/Museum building and to the time when it can welcome Leverett Elementary School and other children from nearby schools, as well as interested adults, to visit and experience what it was like to attend a school where all ages learned together and did many more things for themselves than is the case in most schools today.

Thank you for your support of this worthy proposal!

Respectfully,

*The Leverett Historical Commission*



# Leverett Education Foundation

To Whom It May Concern:

We are writing on behalf of the Leverett Education Foundation to lend our support to the Leverett Historical Society's application for funding to help restore the Moore's Corner Schoolhouse.

The Leverett Education Foundation is a non-profit, community organization that raises money from local residents and area businesses to support curriculum and innovation at the Leverett Elementary School. We also sponsor community forums on educational topics and provide information to people in Leverett about issues related to education in Massachusetts. We are offering our support to the Leverett Historical Society's grant application for three reasons.

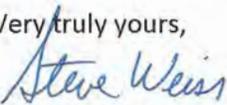
First, Leverett has had a long and vigorous tradition of public education that at one time or another embraced ten different one-room schoolhouses built all around our town. The Moore's Corner Schoolhouse is a particularly notable example of this rich tradition, first welcoming students in 1815 and thereafter providing educational services to Leverett children for over 130 years before the town consolidated all of the remaining one-room schoolhouses into a single elementary school in the 1950s. The Schoolhouse remains a viable structure and – with the carefully design restoration plans the Historical Society has advanced -- offers the opportunity to help both Leverett's youngsters and older citizens understand the material context and historical legacy of education in Leverett stretching back into the eighteenth century.

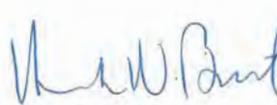
Second, even after the Schoolhouse lost its original educational mission, it has – thanks to broad-based support from people in Leverett – continued to function as a town-wide resource, housing artifacts from Leverett's past and providing space for community meetings and events.

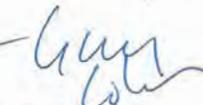
Finally, our endorsement of this project is greatly informed by the continuing work of multiple organizations in our small town, including the Leverett Historical Society, the Leverett Historical Commission, and the Rattlesnake Gutter Trust, a local land conservation group, on projects that have engaged students at our elementary school in research and exploration of Leverett's past, including a remarkable oral history endeavor that collected, documented, and published the memories and observations of former one-room schoolhouse students in our town.

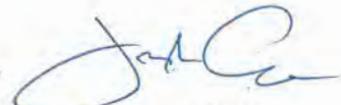
We believe that restoring the Moore's Corner Schoolhouse is a highly worthwhile endeavor that would further strengthen the commitment that our fellow townspeople – of all ages – have amply demonstrated to preserving the story of Leverett and continuing to make Leverett's history come alive for our children, and for generations to come.

Very truly yours,

  
Stephen Weiss  
President

  
Hannah Blunt  
Secretary

  
Craig Cohen  
Trustee

  
Jon Camadeco  
Trustee

August 26<sup>th</sup>, 2022

Leverett Historical Society,

Hello, my name is Michael Grant, and I am the pastor of Moore's Corner Church. The reason I am writing is to express my support for the work being done at the Moore's Corner school house. It is an important historical site that means a lot to the people of the community.

I hope the application for the grant will be approved for the following reasons: Not only will it improve the looks of community it will be a valuable tool to help people learn about the past and the tours and programs that will come as the result will also prove to enrich the lives of those who participate.

I know for our church; we are excited since the building has fallen somewhat into a state of disrepair so even the work done so far is very nice to see. If you have any questions please feel free to email or call us at [moorescornerchurch@yahoo.com](mailto:moorescornerchurch@yahoo.com) / 413.367.9361

Respectfully,



Pastor Michael Grant  
Moore's Corner Church



# System Replacement Plan (SRP) Overview

## Leverett Historical Society: Moore's Corner School House



Presented by

Sarah Stricklin  
Robert Kagan

# Leverett Historical Society

The Leverett Historical Society is a volunteer organization dedicated to preserving the rich history of Leverett, Massachusetts, with two homes at the center of its operations: the Field Museum in the heart of downtown Leverett and a schoolhouse in Moore's Corner, North Leverett.

The Leverett Historical Society's museum is the perfect place to visit if you have an interest in learning about the town of Leverett's unique heritage. The museum has an extensive library of information and documents, including a repository of records specific to family names and antique homes relevant to Leverett that many find useful with genealogical research.

In 2024, the town of Leverett will celebrate the 250<sup>th</sup> anniversary of its founding. The Society is preparing their buildings for events relating to the celebrations surrounding the milestone.



# Consultants

**Nonprofit Finance Fund (NFF)** envisions a society where money and knowledge come together to support vibrant communities. A nonprofit lender and consultant with 40 years of national and hyperlocal experience, NFF helps mission-driven organizations achieve communities' aspirations through tailored capital, strategic advice, and accessible insights.

**Olive Branch Consulting** is a multifaceted construction consulting company offering a wide range of services to our clients. Olive Branch is committed to providing objective, timely, material, and actionable advice and reporting to its clients as they pursue their goals in real estate development. The Olive Branch team understands that clients come with many different needs and capabilities. Therefore, its services are tailored to put our recommendations into practice. From the initial conception to closeout and lease-up, Olive Branch helps organizations reach their goals in real estate development while simultaneously protecting them both operationally and financially.

# NFF's Nonprofit Facility Experience

Since 1980, NFF has partnered with nonprofit organizations to navigate facility challenges and opportunities through:

## Tailored Investments

- Acquisition loans
- Construction loans
- New Markets Tax Credits

## Strategic Advice

- Systems Replacement Plans
- Facility trainings, technical assistance
- Integrating planning for facility operations and capital costs

## Accessible Insights

- Facility-related reports and blogs
- Facility-planning national webinars

# What is a Systems Replacement Plan?

## An assessment of the 20-year repair and replacement needs and costs for a facility

- Provides a comprehensive facilities analysis by a construction consultant – in this case, Olive Branch Consulting
- Forecasts the necessary replacement of specific systems and equipment (presuming routine maintenance)
- Details a year-by-year breakdown of proposed costs and savings



# More about the Systems Replacement Plan

## Who can take advantage of an SRP?

- Nonprofit organizations that own their buildings
- Nonprofit organizations with long-term leases that are responsible for all repairs and replacements



## How can an SRP be used in planning and decision-making?

- Build an in-depth understanding of the current state of the facility
- Learn how much is needed to meet current and future capital repairs and replacement needs
- Avoid facility emergencies and program interruption
- Demonstrate that rainy-day reserve funds are a necessity, not a luxury

# Olive Branch Report: Replacement Recommendations

Olive Branch develops a list of recommended system replacements, including photos. Below is an excerpt:

Leverett Historical Society - Moore's Corner School House										
ROOF										
Pitched Metal Roof System	The building is provided with a pitched corrugated metal roof system which is in poor condition with rusting observed. Installation date is unknown but the roof is well beyond its useful life.		Unknown	40	Immediate	Recommend immediate replacement of the roof system. Cost estimate includes removal and replacement of the roof system with a new metal roof system.	Immediate	1,260	SF	\$ 20.00 \$ 25,600.00
Pitched Metal Awning	The front entrance is equipped with a wood framed awning with corrugated metal roofing. The installation date is unknown but the awning is in poor condition.		Unknown	40	Immediate	Recommend immediate replacement of the roof system. Cost estimate includes removal and replacement of the roof system with a new metal roof system.	Immediate	48	SF	\$ 20.00 \$ 960.00
Church Steeple & Tower	The pitched metal roof on the bell tower appears to be in similar condition as the main roof. The installation date is unknown but the awning is in poor condition.		Unknown	40	Immediate	Recommend immediate replacement of the roof system. Cost estimate includes removal and replacement of the roof system with a new metal roof system.	Immediate	1	Allow	\$1,000.00 \$ 1,000.00
Aluminum Gutter/Downspout System	The building does not have any system in place to accommodate for stormwater.		N/A	30	No Recommendation	No recommendation provided as the addition of a gutter/downspout system would change the historic look of the building.	N/A	0	LF	\$ - \$ -

# NFF Incorporates Olive Consulting Data into the SRP Excel Model

## Partial Input Spreadsheet

How long systems have been operating?

How long systems should last?

Building	Category	Item	Quantity	Cost per Unit	Total Cost (Today's Dollars)	Age	Useful Life	Year of 1st Repair/Replacement
Moore's Corner School	Roof	Pitched Metal Roof System	1280	\$20.00	\$25,600.00	214	40	2025
Moore's Corner School	Roof	Pitched Metal Awning	48	\$20.00	\$960.00	214	40	2025
Moore's Corner School	Roof	Church Steeple & Tower	1	\$1,000.00	\$1,000.00	214	40	2025
Moore's Corner School	Roof	Aluminum Gutter/Downspout System	0	\$0.00	\$0.00	0	30	2025
Moore's Corner School	Windows	Double Hung Windows	225	\$150.00	\$33,750.00	214	25	2025
Moore's Corner School	Doors	Exterior Wood Doors	1	\$2,000.00	\$2,000.00	214	25	2030
Moore's Corner School	Doors	Exterior Wood Doors	1	\$2,000.00	\$2,000.00	214	25	2030
Moore's Corner School	Doors	Interior Wood Doors	4	\$1,000.00	\$4,000.00	0	25	2029
Moore's Corner School	Structure	Foundation	1	\$8,000.00	\$8,000.00	214	75	2030
Moore's Corner School	Structure	Exterior Walls	1	\$55,000.00	\$55,000.00	214	50	2030
Moore's Corner School	Structure	First Floor Structure	1	\$35,000.00	\$35,000.00	214	50	2030

\*Note that years of replacement were adjusted from original recommendations to meet the needs of Leverett Historical Society

# The NFF SRP Model Illustrates the Timing of Needed Repairs and Replacements

Below is an excerpt of the Replacement Cost Schedule. The full tool is available separately.

Update Building to Include in Analysis Here			2024	2025	2026	2027	2028	2029	2030
Building	Category	Item	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7
Moore's Corner School House	Structure	Exterior Walls	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 70,924
Moore's Corner School House	Structure	First Floor Structure	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 45,134
Moore's Corner School House	Structure	Second Floor Ceiling/Attic/ Roof Deck Structure	\$ -	\$ 29,400	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Structure	Structural Engineer	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Exterior Woodwork	Exterior Woodwork	\$ -	\$ 55,965	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Exterior Woodwork	Wood Clapboard Siding	\$ -	\$ 77,963	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	HVAC	Propane Fired Stove	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	HVAC	Propane Tank	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	HVAC	Cabinet Unit Heaters	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,579
Moore's Corner School House	Electrical/Lighting	Electrical Panels (Incoming Electrical Service)	\$ -	\$ 5,250	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Electrical/Lighting	Electrical Distribution	\$ -	\$ 5,250	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Electrical/Lighting	Lighting	\$ -	\$ 2,625	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Electrical/Lighting	Fire Alarm System	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 9,390	\$ -
Moore's Corner School House	Plumbing		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Fire Suppression	Sprinkler System	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 30,949
Moore's Corner School House	Fire Suppression	Fire Pump	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Fire Suppression	Fire Extinguishers	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 387
Moore's Corner School House	Accessibility	Restrooms	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Accessibility	Building Entry	\$ -	\$ 10,500	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Accessibility	Chairlift	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 38,686
Moore's Corner School House	Construction Issues/Concerns	Fire Escape Staircase	\$ -	\$ 7,875	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Construction Issues/Concerns	Concrete Steps	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,513
Moore's Corner School House	Environmental	Lead Based Paint (LBP)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,448
Moore's Corner School House	Environmental	Asbestos Containing Material (ACM)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,869
Moore's Corner School House	General	Floor Finishes	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,190
Moore's Corner School House	Energy Efficiency of Envelope	Exterior Walls (Blown-In)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Energy Efficiency of Envelope	Roof deck Insulation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Energy Efficiency of Envelope	Energy Consultant	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	HVAC	Variable Refrigerant Flow (VRF) System	\$ -	\$ 18,375	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Energy Efficiency - HVAC	Energy Recovery Ventilator (ERV)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Energy Efficiency - HVAC	Mechanical Engineer Consultation	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Moore's Corner School House	Out Buildings	Outhouse	\$ -	\$ 10,500	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Total:</b>			\$0	\$288,078	\$0	\$0	\$0	\$14,398	\$227,731

# The NFF Model Illustrates the Timing of Annual Savings Requirements

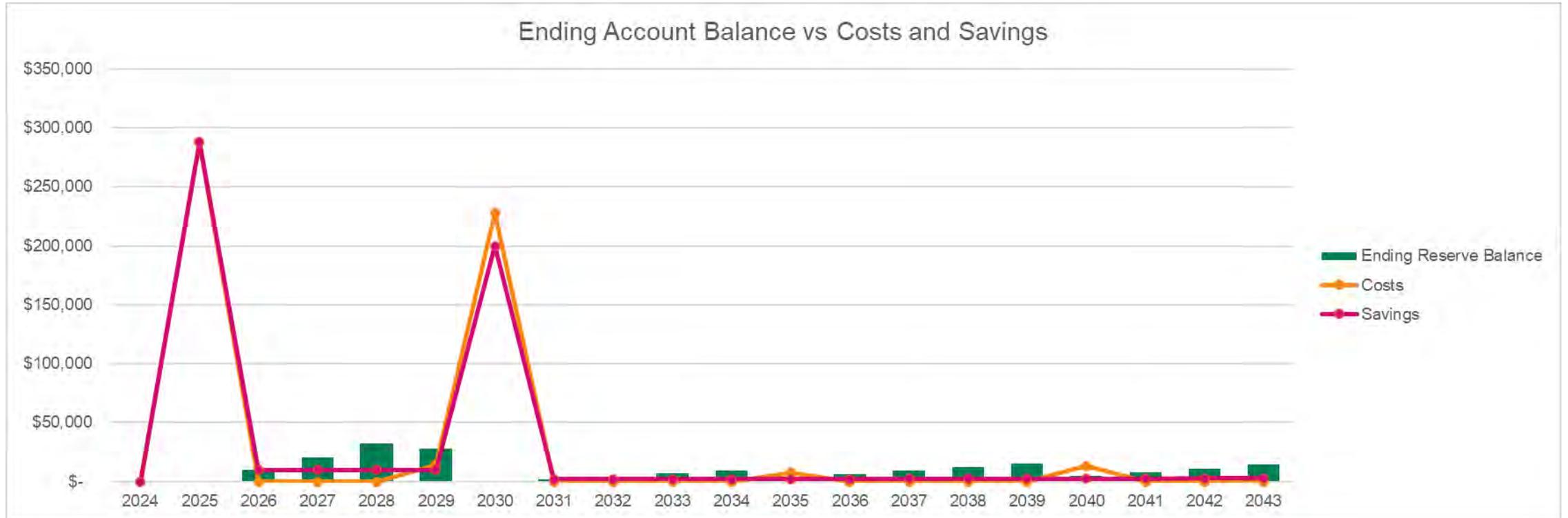
The initial assessment from Olive Branch Consulting showed that the vast majority of building components needed “immediate” repair or replacement, but offered suggestions for phasing projects over time should financial constraints prohibit all repairs and replacements at one time. Taking these suggestions into account, NFF supported the Leverett Historical Society to develop a phased budget for system replacements over time, prioritizing the projects they felt were more important to their goals for the space.

	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Beginning Reserve Balance	\$0	\$0	\$0	\$10,000	\$20,500	\$31,525	\$27,984	\$253	\$2,265	\$4,438
Costs	\$0	-\$288,078	\$0	\$0	\$0	-\$14,398	-\$227,731	\$0	\$0	\$0
Net	\$0	-\$288,078	\$0	\$10,000	\$20,500	\$17,127	-\$199,747	\$253	\$2,265	\$4,438
Interest earned on Acct Balance	\$0	\$0	\$0	\$500	\$1,025	\$856	\$0	\$13	\$113	\$222
Generated Savings Plan	\$325,257	\$37,179	\$37,179	\$37,179	\$37,179	\$34,574	\$1,093	\$1,093	\$1,093	\$1,093
Planned Savings	\$0	\$288,078	\$10,000	\$10,000	\$10,000	\$10,000	\$200,000	\$2,000	\$2,060	\$2,122
Ending Reserve Balance	\$0	\$0	\$10,000	\$20,500	\$31,525	\$27,984	\$253	\$2,265	\$4,438	\$6,782

	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043
Beginning Reserve Balance	\$6,782	\$9,307	\$4,018	\$6,537	\$9,252	\$12,175	\$15,317	\$4,863	\$7,794	\$10,952
Costs	\$0	-\$7,624	\$0	\$0	\$0	\$0	-\$13,171	\$0	\$0	\$0
Net	\$6,782	\$1,683	\$4,018	\$6,537	\$9,252	\$12,175	\$2,146	\$4,863	\$7,794	\$10,952
Interest earned on Acct Balance	\$339	\$84	\$201	\$327	\$463	\$609	\$107	\$243	\$390	\$548
Generated Savings Plan	\$1,093	\$557	\$557	\$557	\$557	\$557	\$0	\$0	\$0	\$0
Planned Savings	\$2,185	\$2,251	\$2,319	\$2,388	\$2,460	\$2,534	\$2,610	\$2,688	\$2,768	\$2,852
Ending Reserve Balance	\$9,307	\$4,018	\$6,537	\$9,252	\$12,175	\$15,317	\$4,863	\$7,794	\$10,952	\$14,351

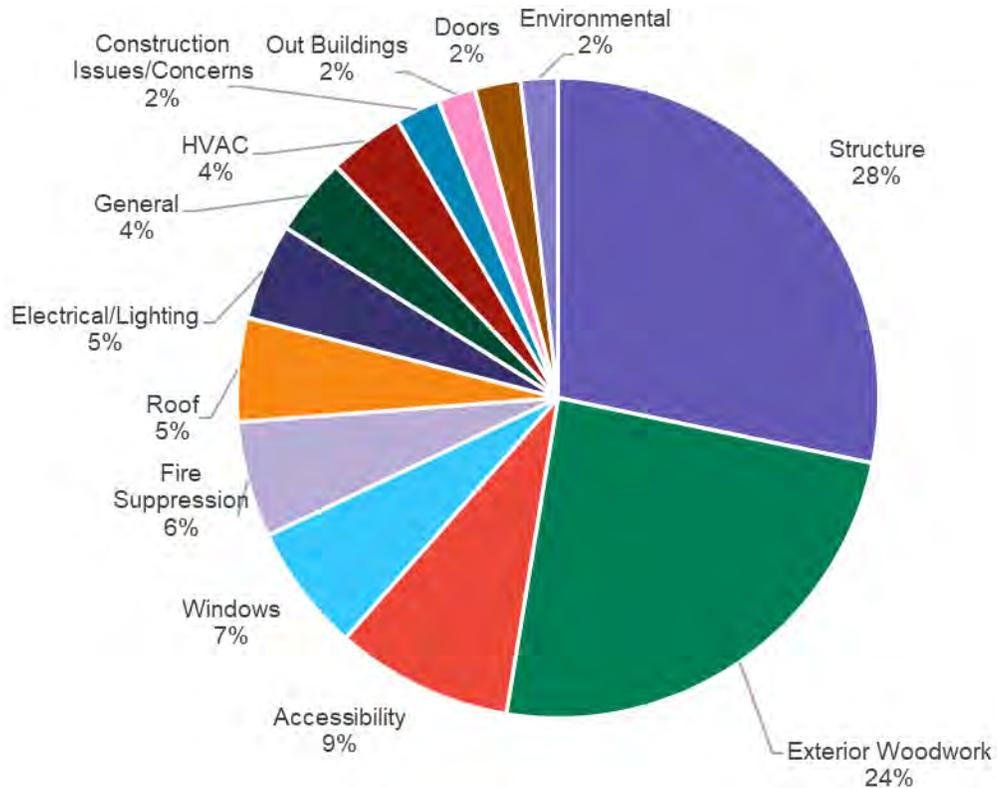
# System Replacement Costs and Savings

This plan requires an initial phase of major rehabilitation work in 2025 based on fundraising primarily taking place in that year. This would be followed by a second major phase in 2029/2030 supported by smaller fundraising in the interim years and ballooning project-based funding in the project years. After those two phases, minimal yearly savings throughout the remainder of the 20-year period will support small ongoing repairs/replacements as well as a develop small reserve fund.



# System Replacement Costs

The itemized list of system repairs and replacements includes a possible total cost of **\$551,002** over the next 20 years. **Structural work** could entail the most expensive replacements during this period and would account for **28%** of total facilities expenses.



Major Cost Breakdown by Category		
Category	Total Cost	Percentage
Structure	\$ 155,774	28%
Exterior Woodwork	\$ 133,928	24%
Accessibility	\$ 49,186	9%
Windows	\$ 35,438	6%
Fire Suppression	\$ 32,304	6%
Roof	\$ 28,938	5%
Electrical/Lighting	\$ 26,847	5%
General	\$ 21,684	4%
HVAC	\$ 20,954	4%
Construction Issues/Concerns	\$ 12,388	2%
Out Buildings	\$ 10,500	2%
Doors	\$ 12,745	2%
Environmental	\$ 10,316	2%
<b>Total</b>	<b>\$ 551,002</b>	

# Systems Replacement Cost Considerations

Total cost of **\$551,002** over the next 20 years – *major project years include:*

## Projects in Year 2025 – Totaling \$288,078 (adjusted for inflation)

- Roof
  - Pitched Metal Roof System- \$26,880
  - Pitched Metal Awning- \$1,008
  - Church Steeple & Tower- \$1,050
- Windows
  - Double Hung Windows- \$35,438
- Structure
  - Second Floor Ceiling/Attic/Roof Deck Structure- \$29,400
- Exterior Woodwork
  - Exterior Woodwork- \$55,956
  - Wood Clapboard Siding- \$77,963
- HVAC
  - Variable Refrigerant Flow (VRF) System- \$18,375
- Electrical/Lighting
  - Electrical Panels- \$5,250
  - Electrical Distribution- \$5,250
  - Lighting- \$2,625
- Accessibility
  - Building Entry- \$10,500
- Construction Issues/Concerns
  - Fire Escape- \$7,500
- Outbuildings
  - Outhouse- \$10,500

# Systems Replacement Cost Considerations

Total cost of **\$551,002** over the next 20 years – *major project years include:*

## Projects in Years 2029/2030- totaling \$242,129 (adjusted for inflation)

- Doors
  - Exterior Wood Doors- \$2,579
  - Exterior Wood Doors 2- \$5,158
  - Interior Wood Doors- \$5,008
- Structure
  - Foundation- \$10,316
  - Exterior Walls- \$70,924
  - First Floor Structure- \$45,134
- HVAC
  - Cabinet Unit Heaters- \$2,579
- Electrical/Lighting
  - Fire Alarm System- \$9,390
- Fire Suppression
  - Sprinkler System- \$30,949
  - Fire Extinguishers- \$387
- Accessibility
  - Chairlift- \$38,686
- Construction Issues/Concerns
  - Concrete Steps- \$4,513
- Environmental
  - Lead Based Paint- \$6,448
  - Asbestos Containing Material (ACM)- \$3,869
- General
  - Floor Finishes- \$6,190

## Next Steps

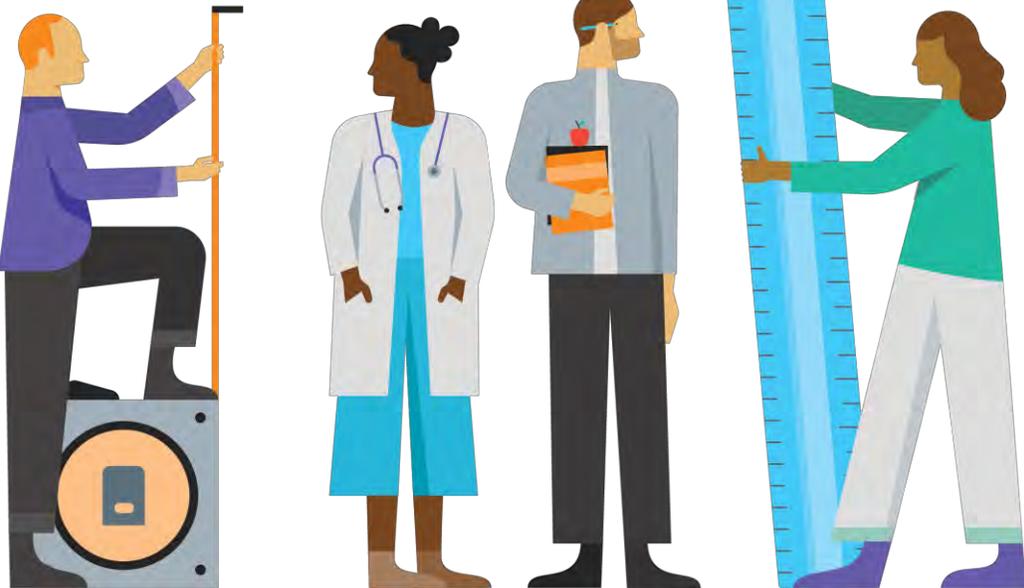
- ✓ 1. Brief introductory call with NFF to describe the process, review logistical details, discuss needs and goals, and set expectations
- ✓ 2. On-site assessment by Olive Branch Consulting (3-4 hours)
- ✓ 3. Olive Branch Consulting will compile and issue a comprehensive facility survey and report to NFF
- ✓ 4. NFF will translate the report into easy-to-follow formats, creating an Excel tool and PowerPoint summary report
- ✓ 5. Briefing call with NFF and the Leverett team to discuss initial findings
6. *Final presentation to Leverett's board to discuss and review the full report (pending Leverett decision regarding next steps)*

# Thank You!

nff.org

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# What Makes a Good Facility Reserve Policy?

A good facility reserve policy will address the following:

- Where the account will be held
- Target amount of funds to be kept in the reserve
- How the goal will be reached (e.g., surpluses, capital campaign)
- Appropriate purposes for withdrawing funds (e.g., does the Executive Director have discretion up to a certain amount?)
- Schedule on which funds will be repaid to the account, or how the balance will be maintained
- Contingency clauses (i.e., funds must be used for facility repairs or replacements, UNLESS...)

*To learn more about reserves, visit the National Center for Charitable Statistics' (NCCS) "Operating Reserve Policy Toolkit for Nonprofit Organizations," available at [https://www.giarts.org/sites/default/files/Operating-Reserve-Policy-Toolkit\\_1stEd\\_2010-09-16.pdf](https://www.giarts.org/sites/default/files/Operating-Reserve-Policy-Toolkit_1stEd_2010-09-16.pdf)*

*The Kresge Foundation also has a useful guide on facilities reserves available at [https://kresge.org/sites/default/files/A\\_Guide\\_to\\_Building\\_Reserves.pdf](https://kresge.org/sites/default/files/A_Guide_to_Building_Reserves.pdf)*

# Steps for Building a Facilities Reserve

1. Identify **key team** for reserves policy development (e.g. board committee, working group)
2. Calculate savings **goals** for facilities reserve
3. Determine **sources** of capital
  - Unrestricted operating surplus
  - Unrestricted non-operating revenue (e.g. investment income)
  - Fundraising campaign
4. Identify **timeline and milestones** for establishing and growing the reserve
  - May include an initial transfer from an existing account, if applicable
  - May also include targets for future deposits (e.g. flat amount or percentage of surplus/endowment revenue)
5. Discuss **protocols for management** and usage of funds
  - What level of withdrawals require committee or board authorization?
  - Where should the funds be held?
6. Draft the **policy** in consultation with auditor and legal counsel
7. Board **approval**
8. Establish the reserve account and monitor **progress**
  - Track reserves balance, deposit schedule, and withdrawals with the organization's regular financial reporting

# Sample Board Designated Reserve Policy #1

**ABC Organization** will build and maintain a reserve fund equal to a minimum of three months of operating expenses. ABC proposes a reserve fund goal of \$**amount** anticipating a \$**amount** operating budget when the organization increases its service to **X** or more clients annually.

This reserve fund will serve the organization in many ways as a line of credit from a financial institution. It differs, however, in that the fund will be a tangible asset for the organization and earn interest income on the principal balance. In establishing the reserve fund, **ABC** affirms that the organization will continue to act in a fiscally responsible manner and not take any false comfort in knowing that a reserve fund exists. Operating budgets will continue to be realistically prepared and managed and every effort will be made to achieve projected revenue goals. The Management Oversight Committee will continue to review all details of the financial operation on a monthly basis.

Reserve funds can be used for the following purposes:

- Temporary shortfalls in the operating budget
- Interim funding of new programs and/or services
- Emergency repairs
- Capital purchases

**ABC** is committed to never depleting the reserve fund more than fifty-percent (50%) of its balance except in the case of most extreme need and only after the organization takes any and all cost savings measures possible without sacrificing the integrity of direct client services. **ABC** is further committed to replenishing the fund to a minimum of three months operating expenses before incurring any substantial increase in operating expenses. Funds will be held in a safe, secure, competitive interest-bearing account(s) in institutions that financially support the **ABC** mission.

## Sample Board Designated Reserve Policy #2

*On **Date**, **XYZ Organization**'s Board of Trustees voted to transfer **\$amount** into an interest-bearing account at **name of bank** which is to function as a line of credit for the organization. The Executive Director may draw up to a total of **\$amount**, at any one time, from the fund to meet periodic cash shortfalls due to the timing of the receipt of fees for the **names of programs**.*

*For amounts over **\$amount**, approval of the President of the Board of Trustees and Chairperson of the Finance Committee is needed. The President and Chairperson must be counter signatories on the transfer.*

*It is the policy that this fund must be immediately replenished upon receipt of **names of programs** fees.*

*Interest from the fund is to be applied to General Account as it is naturally disbursed by **name of bank**.*

*The Executive Director is required to report on the use of the Line of Credit at each Board meeting. Changes to this policy are subject to **XYZ**'s Finance and Investment Policy procedures.*

**MOORE'S CORNER SCHOOLHOUSE  
NORTH LEVERETT, MASSACHUSETTS  
LEVERETT HISTORICAL SOCIETY**

**EXTERIOR CONDITIONS ASSESSMENT**



SEPTEMBER 2024

ERIC GRADOIA  
ARCHITECTURAL HISTORY & CONSERVATION  
NORTHFIELD, MASSACHUSETTS  
[WWW.ERICGRADOIA.COM](http://WWW.ERICGRADOIA.COM)

## Executive Summary

This report documents the conditions observed at the Moore's Corner Schoolhouse during a site visit conducted by Eric Gradoia on August 24, 2024. The Moore's Corner Schoolhouse is located at 230 North Leverett Road and is a contributing building in the Moore's Corner National Register Historic District (see MHC Inventory Forms attached). The Schoolhouse is a two story, one pile deep, frame building believed to date to 1810. It is thought that the building was originally constructed by the Universalist Society as a meetinghouse in the early decades of the nineteenth century and used for schooling shortly thereafter. The building served as a schoolhouse until YEAR, after which time it went vacant and serving briefly as a library until 1964 when it was taken over by the Leverett Historical Society for use as a museum and meeting place.

The building last saw significant work in 2006. Since then, it has suffered from deferred maintenance, resulting in the conditions we see today. The building envelope has several issues that must soon be addressed before they are left to evolve into more serious, far reaching problems.

The work generally consists of timber repairs to framing elements (post and wall plate) at the northwest corner of the building, prep and puttying of window sash, repair and replacement of wood trim, and a complete prep, prime and painting of the entire exterior of the building. **The** foundation system should be examined by a licensed structural engineer to determine its condition and any necessary treatments.

The following is a summary of the recommendations contained in the body of this assessment:

### Framing

- The outside of the northeast corner of the building should be opened to expose the framing and allow inspection of their condition. The post, plates and any other damaged framing should be repaired prior to painting of the building.

### Roof/Chimney/Gutters

- Prep and paint roof with a high quality roof coating manufactured for application to existing/weathered metal roof surfaces.
- No active leaks were observed in the area of the chimney; however, it would be well advised to examine the chimney prior to undertaking building repairs to determine the condition of flashings/mortar/brick to determine if issues/failures exist. Repair issues as necessary.

- Cap the chimney with a low profile, vented chimney cap. This will likely need to be fabricated to fit the unique dimensions of the chimney top.
- Address roof drainage either by reintroducing a gutter on the south elevation or with perimeter drainage.

### **Bell Tower**

- It would be well advised to examine the bell tower prior to undertaking building repairs to determine work the bell tower may need, specifically reroofing.
- Prep, prime and paint woodwork on the bell tower as part of an overall repainting of the building.

### **Siding and Trim**

- Replace/repair deteriorated/damaged wood siding and trim with new material to match the existing.
- Remove direct vent pipes and gas lines. Patch in new sheathing and siding to cover holes left by vents. Stagger joints in siding repairs.
- Repair/patch/refasten locations of punky/rotted trim, holes where vermin have gnawed through woodwork, and/or failing or poorly executed Dutchman repairs.
- The water table is soft/punky on north elevation., especially at northwest corner. A similar condition exists on the south elevation. Anticipate approximately 30 linear feet of water table replacement.
- Rebuild section of of soffit on north side of building by door.
- Prep and paint building. Hand scrape to remove loose/deteriorated paint. Sand remaining paint to feather edges. Putty and patch small holes. Caulk joints where necessary. Prep entire building with a high quality primer for aged/weathered wood. Two coats of a high quality, exterior paint.
- Prep and paint metal stairs. Use a high quality direct to metal (DTM) paint (Benjamin Moore IronClad or equal).

## Windows

- Reflash first floor windows on the north elevation.
- Prep, putty, prime and paint window frames and sash. The sash can be puttied in-place. Prime all putty before painting.
- OPTIONAL - Add or replace exterior storm windows. Examples of low-profile storm windows include: Allied One-Lite or Climate Seal. A cheaper alternative would be a common aluminum storm window similar to what currently exists on the building. These are available from local vendors and building supply stores.

## Door and Portico

- Prep and paint wood door, trim, portico and metal rail.
- Clean concrete steps. Power wash at a low setting, but strong enough to remove stains and soiling.

## Foundation

- The most egregious stones should be repaired one by one by slightly jacking the adjacent portion of the building to relieve the pressure, the stone set plumb, and the building be set down again. If fill is required to raise a stone, use 1/2" clean crushed stone.

## Grade

- Lower grade on the north side of the building approximately 6" - 8" making sure to maintain positive drainage. Do not undermine foundation stones. Lay an 18" +/- perimeter of crushed stone over filter fabric around at least the north, west, and east sides of the building (and south if gutters are not installed.)



Fig. 1. South elevation. August 2024.



Fig. 2. East elevation. August 2024.



*Fig. 3. North elevation. August 2024.*



*Fig. 4. West elevation. August 2024.*

## Exterior Conditions Assessment

### Framing

Portions of rot were observed on timbers exposed in the northeast corner of the second floor of the building (Fig. 5). These include portions of the corner post and wall plates.

#### *Recommendations:*

- The outside of the northeast corner of the building should be opened to expose the framing and allow inspection of their condition. The post, plates and any other damaged framing should be repaired prior to painting of the building.

### Metal Roofing

Ribbed locking seam metal panels. Surface rust covers some areas (Fig. 6). Otherwise appears to be in good condition. No active leaks observed.

The roof should be painted with a high quality coating to minimize rust/surface corrosion and extend the service life of the metal roofing.

#### *Recommendations:*

- Prep and paint roof with a high quality roof coating manufactured for application to existing/weathered metal roof surfaces.

### Chimney

From grade, the chimney appears to be in fair condition. A close-up examination of the chimney should be done to view and probe its materials for an accurate understanding of its condition. The chimney is currently not used and should be capped to prevent weather and vermin from entering it.

#### *Recommendations:*

- No active leaks were observed in the area of the chimney; however, it would be well advised to examine the chimney prior to undertaking building repairs to determine the condition of flashings/mortar/brick to determine if issues/failures exist. Repair issues as necessary.
- Cap the chimney with a low profile, vented chimney cap. This will likely need to be fabricated to fit the unique dimensions of the chimney top.



Fig. 5. Second floor, northeast corner. Detail of rot at the top of the corner post and ends of wall plates.



Fig. 6. Detail of the bell tower and surrounding metal roofing. Rusted surface of the roofing is typical across the entire roof.

## Gutters

No gutters remain on the building. An historic photograph of the building shows a half-round gutter on the south eave of the building with a leader pipe running from it along the southwest corner of the building. The hangers for this gutter systems still remain along the south eave of the building.

The historical society should consider reintroducing a gutter on the south eave to control runoff and drainage. There are pros and cons to having/not having gutters on a building. The pros include the ability to control roof drainage, prevent it from running off the roof, eroding grade and causing backsplash against the building. The cons include the need to periodically clean and maintain them and damage from snow and ice slides during winter months. Reintroduction of a gutter may help extend the life of the siding and paint low on the building, but will come with the need for added maintenance. In the absence of a gutter, crushed stone or a French drain along the south perimeter will help minimize backsplash and move water away from the building.

### **Recommendations:**

- If it is decided to reintroduce a gutter and downspout on the south side of the building, the design and choice of materials should be carefully considered to ensure a good quality, well installed product is installed. The gutter and downspout should be sized to handle the capacity of heavy rains more frequently being experienced. Heavy duty gutter brackets closely spaced should be used to support the gutter and prevent bending/damage from snow slides. Additionally, it would be wise to install snow pads to prevent snow and ice from quickly releasing off the roof.
- If it is decided not to install a gutter, an 18" +/- perimeter of crushed stone over filter fabric should be laid a grade to minimize backsplash, promote drainage and prevent vegetation from growing against the building. This can be done with grade work addressed below (see *Grade* below).

## Bell Tower

The bell tower was reintroduced to the building in 2006. From grade, the tower appears to be in good condition. A close-up examination of the tower should be done to view and probe its materials for an accurate understanding of its condition. Paint finishes on the woodwork and siding are starting to fail. The wood shingles on the tower roof are lifting and curling. Their condition was viewed through binoculars. The shingles look weathered and thin at their butt end, suggesting they are reaching or have reached the end of their service life.

**Recommendations:**

- It would be well advised to examine the bell tower prior to undertaking building repairs to determine work the bell tower may need, specifically reroofing.
- Prep, prime and paint woodwork on the bell tower as part of an overall repainting of the building.

**Siding and Trim:**

The building is sided in modern, 6” red cedar clapboards on the west, east, and south elevations and flush board, tongue and groove boards on the north elevation. The wood siding is largely in good condition with the exception of the paint finish which is failing to the point of exposing bare wood in locations (Figs. 7 & 8).

Direct vents for a heating system run through the walls at the second floor level (Fig. 9). As the system is no longer in use, these could be removed and the holes patched. Furthermore, the propane fuel lines attached to the building are no longer necessary and can be removed.

The pilasters, cornice, frieze, and end gables are constructed from a combination of flat and molded woodwork, nearly all of which is early material. Past repairs have respected the historic material, with various patches and Dutchman splices found at the bottom edges of pilasters and water table.

The woodwork is in fair condition. The paint finishes are deteriorated and peeling in large areas. Isolated areas of rot/deteriorated woodwork exist at various points around the building. One rodent hole was observed at the peak of the west gable. The water table should be checked to see if it remains well fastened to the frame and retailed where necessary.

A portion of the soffit/cornice needs to be rebuilt on the north side of the building near the east end (Figs 10 & 11). As this area needs to be opened up to inspect the framing here, it can be repaired as part of the overall repairs to the framing.

**Recommendations:**

- Replace/repair deteriorated/damaged wood siding and trim with new material to match the existing.



*Fig. 7. South elevation, east corner. Representative appearance and condition of clapboard siding and wood trim elements.*



*Fig. 8. Detail of southeast corner showing failing paint finishes on clapboards, corner boards and window frames.*



Fig. 9. Example of direct vent run through side wall.



Fig. 10. North elevation showing area of rotted soffit. The corner and portions of the surrounding trim and siding here should be opened up to expose the full extend of conditions shown in Figure 5.



Fig. 11. North elevation, detail of the soffit shown in Figure 10.

- Remove direct vent pipes and gas lines. Patch in new sheathing and siding to cover holes left by vents. Stagger joints in siding repairs.
- Repair/patch/refasten locations of punky/rotted trim, holes where vermin have gnawed through woodwork, and/or failing or poorly executed Dutchman repairs.
- The water table is soft/punky on north elevation., especially at northwest corner. A similar condition exists on the south elevation. Anticipate approximately 30 linear feet of water table replacement.
- Rebuild section of of soffit on north side of building by door.
- Prep and paint building. Hand scrape to remove loose/deteriorated paint. Sand remaining paint to feather edges. Putty and patch small holes. Caulk joints where necessary. Prep entire building with a high quality primer for aged/weathered wood. Two coats of a high quality, exterior paint.
- Prep and paint metal stairs. Use a high quality direct to metal (DTM) paint (Benjamin Moore IronClad or equal).

## Windows

NOTE - Owing to the limited nature of this field survey, a comprehensive survey of each window was feasible. Instead, several window openings were examined to develop a representation of typical conditions. As a consequence, isolated issues should be expected as more focused examination/work is performed on the building.

The building contains fifteen (15) wood frame windows with 6/6 lite wood sash. The sash area a mix of vintages, with some displaying early munition profiles and construction characteristics and others much later, 20<sup>th</sup> century replacements. The wood windows are an important feature of the building and should be repaired and retained to preserve the historic integrity of the building.

All of the wood windows suffer from deferred maintenance, and as a consequence exhibit the typical issues normally seen as a result (Fig. 12). These include, failing paint finishes, weathered wood and various degrees of failing glazing putty. No serious rot was observed; however, some deteriorated/rotted wood will likely be revealed as the woodwork is probed and prepped for painting.



*Fig. 12. Representative example of the typical exterior conditions of the wood frame windows. Note the failing paint finishes and missing glazing putty on the sash.*

The flashing above the first floor windows on the north elevation is poorly executed and should be replaced.

The first floor windows are covered with exterior aluminum storm windows. While the storm windows detract from the historic appearance of the building, they protect the sash from direct exposure to the elements. The existing storm windows are old, but salvageable. Greater options in the design and appearance of storm windows are now available compared to a few decades ago and the historical society may want to consider replacing the existing storms with new units. Storm windows with narrow profile aluminum extrusions that can be built to match the lines of the wood sash, as well as painted to match may be an option. These would help to protect the sash while minimizing their appearance on the building.

***Recommendations:***

- Reflash first floor windows on the north elevation.
- Prep, putty, prime and paint window frames and sash. The sash can be puttied in-place. Prime all putty before painting.
- OPTIONAL - Add or replace exterior storm windows. Examples of low-profile storm windows include: Allied One-Lite or Climate Seal. A cheaper alternative would be a common aluminum storm window similar to what currently exists on the building. These are available from local vendors and building supply stores.

**Door/Portico**

The south door and surround are early elements and should be retained to preserve the historic integrity of the building. The door and surround are in fair condition and most notably suffer from failing paint finishes (Fig. 13). Likewise, the paint finishes on the portico elements (metal railing and supports, woodwork, and roof) are failing as well.

The concrete steps are soiled and stained but otherwise in serviceable condition.

***Recommendations:***

- Prep and paint wood door, trim, portico and metal rail.
- Clean concrete steps. Power wash at a low setting, but strong enough to remove stains and soiling.



Fig. 13. Detail of the south entry, portico and steps.



Fig. 14. Detail of the foundation at the southeast corner of the building. Note missing stone and tilted angle of the corner stones.



Fig. 15. South elevation at east end of the building where stone in Figure 14 is missing. View looking west. Note how sill bears on foundation stone.



Fig. 16. South elevation at east end of the building where stone in Figure 14 is missing. View looking east. Tilted stone (white arrow) is the same seen in Figure 14. Red arrows point to foundation stones on the east side of the building.



Fig. 17. Detail of the girder supported by piles of stone.

### Foundation

The building sits on a stone foundation system with only an extremely shallow crawl space under it. The perimeter of the foundation is constructed of natural stone slabs of varying lengths, approximately 5"-7" thick, set on edge (Fig. 14). The lower portion of the stone is bedded in the earth, so the stones stand upright. The building's sills/outside walls sit directly on top of these stones and are supported by them. At each bent, timber girders run north/south from sill to sill. The girders are supported at 5'-6' intervals across their span by stones set on the earth (Fig. 17).

Several of the perimeter stones have moved, tilted and/or settled over time. In one instance a stone on the south elevation has fallen over completely, creating a gap in the foundation. This gap allows a view of the backside of the foundation and floor framing (Figs 15 & 16). A deflection can be seen in the south end of the east girder as a result of movement in the foundation.

The foundation system was examined by Bob Leet, P.E., Whetstone Engineering, Wendell, MA, to assess the general condition and treatment recommendations. Mr. Leet offered the following observations:

“The foundation consists of granite slabs set on edge. The stones are set just below the exterior grade on the south side, but the grade slopes up towards the north, and the foundation is covered completely on exterior of the north side. (The crawl space under the building is essentially level.) Some excavation should be done to expose the condition on the north side, as the wall does bow out slightly at the base in the middle of the north side.

The building is remarkably plumb and level on all four sides, with very little settling or heaving, but some of the granite slabs are beginning to tilt, and on the south side one has fallen flat.

I recommend that the most egregious stones be repaired one by one by slightly jacking the adjacent portion of the building to relieve the pressure, the stone set plumb, and the building be set down again. If fill is required to raise a stone, I recommend ½” clean crushed stone be used.“

**Recommendations:**

- The most egregious stones should be repaired one by one by slightly jacking the adjacent portion of the building to relieve the pressure, the stone set plumb, and the building be set down again. If fill is required to raise a stone, use ½” clean crushed stone.

**Grade**

Grade on the north side of the building is high and should be lowered making sure to maintain positive drainage away from the building (Fig. 18). Do not undermine foundation stones. An 18” +/- perimeter of crushed stone over filter fabric should be laid around at least the north, west, and east sides of the building to minimize backsplash, promote drainage and prevent vegetation from growing against the building. This can be continued along the front of the building if gutters are not installed.

**Recommendations:**

- Lower grade on the north side of the building approximately 6” - 8” making sure to maintain positive drainage. Do not undermine foundation stones. Lay an 18” +/- perimeter of crushed stone over filter fabric around at least the north, west, and east sides of the building (and south if gutters are not installed.)



*Fig. 18. North elevation. Note how high the grade is in relation to the water table. The grade should be slightly lowered and pitched away from the building. This section of water table (approximately 16') should be replaced.*

FORM B - BUILDING

Assessor's number

USGS Quad

Area(s)

Form Number

Massachusetts Historical Commission  
80 Boylston Street  
Boston, Massachusetts 02116

2-88

Shutesbury

MC D

46

RECEIVED

Town LEVERETT

'neighborhood or village' Moore's Corner

Address 228 North Leverett Road

Common Name Red Schoolhouse

Present Leverett Historical Society

Original Church and School

Year of Construction 1810

Cornerstone

Form Greek Revival

Architect/Builder

Exterior Material:

Foundation Granite

Wall/Trim Clapboards

Roof Tin

Outbuildings/Secondary Structures Outhouse

Major Alterations (with dates) Belfry removed c. 1900, portico added c. 1965.

Condition Good

Moved  no  yes Date

Acres Under 1 acre

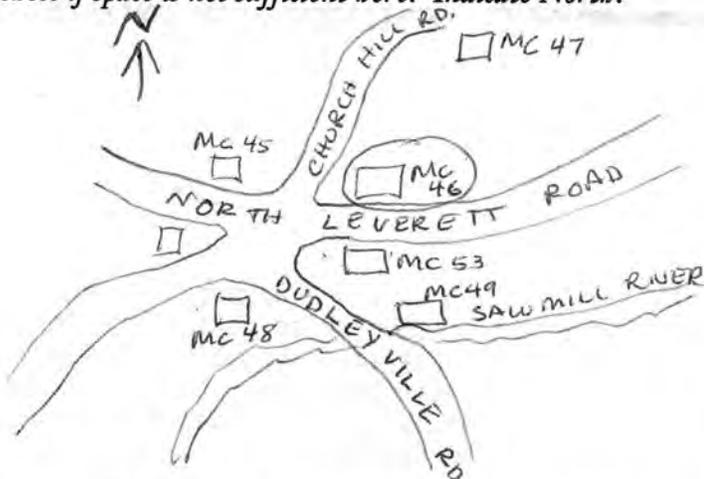
Setting Set on hillside close to North

Leverett Road, facing south.



Sketch Map

Draw a map of the area indicating properties within it. Number each property for which individual inventory forms have been completed. Label streets including route numbers, if any. Attach a separate sheet if space is not sufficient here. Indicate North.



Recorded by Bonnie Parsons Marxer (PVPC)

Organization Franklin County Planning Comm. and Annette N. Gibavic  
Leverett Historical Commission

Date (month/day/year) 5/24/93

## BUILDING FORM

### ARCHITECTURAL DESCRIPTION *see continuation sheet*

*Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.*

This is a two story Greek Revival style building which is three bays wide and one deep. Built as a combination church and schoolhouse, it is residential in scale and design although its plan with a side entry on the three bay facade is unusual for the period and indicates its original use. Greek Revival are the panelled corner pilasters which have a tabernacle motif beneath the capitals and the wide frieze at the cornice. The eaves make a full return to form a pediment in the gable end. The door surround is composed of panelled pilasters beneath an entablature. A new portico on wrought iron supports serves as an entry. Early photographs show that the building had a spired belfry originally.

### HISTORICAL NARRATIVE *see continuation sheet*

*Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.*

The Universalist Society of Leverett constructed this building to serve as a meeting house in the first decades of the 19th century. After the Universalist Society disbanded, its use as a church was continued by the Congregational Society, meeting in the assembly room on the second floor, until the construction of the Moore's Corner Church in 1896. An 1850 Greenfield paper called it "the Universalist Church now called School Hall".

Its use as a schoolhouse dates from 1815. A newspaper account in 1833 refers to it as the "Red Schoolhouse". It became District #3 schoolhouse of Moore's Corner in 1859, when it had 30 pupils and 8 grades. In 1872 it was altered and painted. In 1937 it housed the upper grades, with primary grades taught in North Leverett. Both schools closed with the construction of the Consolidated Elementary School.

The building was empty and in poor repair for about 10 years, when a restoration committee was formed and \$3,000 raised to restore it. It was used as a library briefly. Since 1964 it has been the meeting place and museum of the Leverett Historical Society. The bell is now housed in the hallway.

### BIBLIOGRAPHY and/or REFERENCES *see continuation sheet*

Leverett Bicentennial Committee. History of Leverett, Massachusetts, 1874-1974.  
Leverett, 1974.

Amherst Record, April 29, 1964.

Leverett Historical Society Vertical Files, clippings on history of schools in Leverett.

- Recommended for listing in the National Register of Historic Places. *If checked, you must attach a completed National Register Criteria Statement form.*

FORM B - BUILDING

Assessor's number

USGS Quad

Area(s)

Form Number

Massachusetts Historical Commission

[Empty box for Assessor's number]

SHUTESBURY

1D

14 174

46

Town Leverett

Place (neighborhood or village) Moore's Corner

Address <sup>228</sup> North Leverett Road <sup>USGS SHUTESBURY</sup>

Historic Name District #3 Schoolhouse

Uses: Present Leverett Historical Society and museum

Original Church and school

Date of Construction c.1830

Source map of 1858 and visual analysis

Style/Form Greek Revival

Architect/Builder \_\_\_\_\_

Exterior Material: \_\_\_\_\_

Foundation granite

Wall/Trim clapboards

Roof tin

Outbuildings/Secondary Structures none

Major Alterations (with dates) belfry removed c.1900, portico added c.1965.

Condition good

Moved  no  yes Date \_\_\_\_\_

Acraege Under 1 acre

Setting Set on hillside close to North

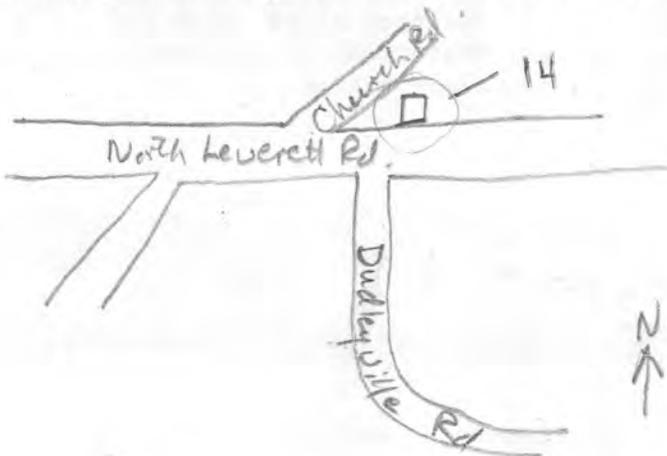
Leverett Road, facing south.

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SEP 15 1992



inventory forms have been completed. Label streets including route numbers, if any. Attach a separate sheet if space is not sufficient here. Indicate North.



Recorded by Bonnie Parsons Marxer (PVPC)

Organization Franklin County Planning Commission

Date (month/day/year) 8/30/92

## BUILDING FORM

ARCHITECTURAL DESCRIPTION  *see continuation sheet*

*Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.*

This is a two story Greek Revival style building which is three bays wide and one deep. Built as a combination church and schoolhouse it is residential in scale and design although its plan with a side entry on the three bay facade is unusual for the period and indicates its original use. Greek Revival are the panelled corner pilasters which have a tabernacle motif beneath the capitals and the wide frieze at the cornice. The eaves make a full return to form a pediment in the gable end. The door surround is composed of panelled pilasters beneath an entablature. A new portico on wrought iron supports serves as an entry. Early photographs show that the building had a spired belfry at one time.

HISTORICAL NARRATIVE  *see continuation sheet*

*Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.*

The Universalist Society of Leverett constructed this building to serve as a meeting house in the first decades of the 19th century. After the Society disbanded it was taken over by the Congregational society which met in the assembly room on the second floor. Its use as a school house dates at least from 1833 when a newspaper account refers to it as the "Red School House". An 1850 Greenfield paper called it "the Universalist Church now called School Hall", so its use by the Congregational Society dates after 1850. It became the District #3 school house of Moore's Corner c.1859 and had 30 pupils in that year. Its operation as a district school coincided with the neighboring Dudleyville school house which was in district # 9. The few figures published in town records indicate that this was the larger school of the two having 30 in contrast to the 9 students at Dudleyville. The building was altered and painted in 1872 and then stood empty for at least 10 years in the 1950s and 60s. In 1964 the Leverett Historical Society was formed and the building was restored for use as a meeting place and museum.

BIBLIOGRAPHY and/or REFERENCES  *see continuation sheet*

Leverett Bicentennial Committee. History of Leverett, Massachusetts, 1874-1974, Leverett, 1974.

Amherst Record, April 29, 1964.

Leverett Historical Society Vertical Files, clippings on history of schools in Leverett.

Recommended for listing in the National Register of Historic Places. *If checked, you must attach a completed National Register Criteria Statement form.*



Massachusetts Historical Commission  
80 Boylston Street  
Boston, Massachusetts 02116

Maps 2 & 4

Shutesbury

MC

45 to 54 and 804

RECEIVED

AUG 13 1993

Town LEVERETT

Place (neighborhood or village) Moore's Corner

Name of Area Moore's Corner

Present Use Residential, one general store.

Construction Dates or Period 1810 to 1900

Overall Condition Good

Major Intrusions and Alterations Co-op store built 1991.

Acreage Approximately 45 acres.

Recorded by Betsy Douglas and Annette Gibavic

Organization Leverett Historical Commission

Date (month/day/year) 6/1/93



Follow Massachusetts Historical Commission Survey Manual instructions for completing this form.

AREA FORM

ARCHITECTURAL DESCRIPTION  *see continuation sheet*

*Describe architectural, structural and landscape features and evaluate in terms of other areas within the community.*

HISTORICAL NARRATIVE  *see continuation sheet*

*Explain historical development of the area. Discuss how this area relates to the historical development of the community.*

BIBLIOGRAPHY and/or REFERENCES  *see continuation sheet*

A History of Leverett, Massachusetts 1774-1974. Leverett Bicentennial Committee, 1974  
 Walling Map of Franklin County, 1858.  
 Beers Atlas of Franklin County, 1871.  
 "Mills and Shops of Moore's Corner", Dan Bennett, unpublished manuscript available at the Leverett historical Society.  
 Franklin County Registry of Deeds.



Recommended as a National Register District. *If checked, you must attach a completed National Register Criteria Statement form.*



ARCHITECTURAL SIGNIFICANCE -- MOORE'S CORNER AREA OF LEVERETT

The architectural significance of the Moore's Corner area is that the existing buildings reflect the industrialization of this part of Leverett in the late eighteenth and early nineteenth centuries with both surviving mill buildings and homes of mill owners and mill workers.

The largest mills no longer exist, but two representative mills are side by side at the junction of North Leverett Road (number 229, MC-53) and Dudleyville road (number 2, MC-49). Both are residential in scale, but the loading bays reveal their origins. The Alven Moore Sawmill (MC-53), a two story structure of eight bays in width and three deep, is the older of the buildings first constructed as a sawmill in 1793. Early photographs show 6/6 windows on the upper floor which added to the residential appearance. It was subsequently moved and replaced by a grist mill at the rivers edge in 1897, and the upper windows were replaced by the existing narrow 1/3 sash, but the loading doors are still evident in the south facade. The Watson Grist Mill (MC-49), built in 1897, is one and a half stories in height with a steeply pitched gable roof, five bays long and two bays wide. Although it has been converted to residential use, the 6/6 windows have been retained and the loading bays survive on both levels of the north facade.

The earliest area residences built as farmhouses and early millowner homes in the eighteenth century no longer survive, leaving Moore's Corner with houses built during the height of prosperity from the 1840s to the 1860s in the Greek Revival style. Three of these houses are one and a half story cottages along Dudleyville Road. Although they are in the same scale, they represent different interpretations of the style. Both the Frederick P. Rice house at 5 Dudleyville Road (MC-50) and the Newel Hunt House at 12 Dudleyville Road (MC-52) are five bays wide and two bays deep, with wide frieze boards at the cornice, broad pilasters as cornerboards, heavy doorway entablatures with sedelights and are similar to other greek revival cottages in other mill areas such as the four in East Leverett (EL-23, EL-26, EL-27 and EL-31). The Jonah Hunt House at 8 Dudleyville Road (MC-51) is unique in all of Leverett. Also of cottage scale, it is the only Greek Revival house of any size that has a front pedimented gable surmounting free standing columns. Other features such as wide cornice boards, wide panelled pilasters as cornerboards and a front door with side lights echo features of the two neighboring houses.

Facing each other across North Leverett Road are two houses probably built within a year of each other about 1852, the Julius C. Rice House (MC-45) and the Colister Leonard House, (MC-48). They are almost mirror images of each other with the main section being two story, front gabled, three bays wide with a side door surrounded by a deep entablature and side lights. On both houses the wide freize board in the gable abuts the flush framing of the upper story windows. On a hill south of the village center is a later house built in the Colonial Revival style. It replaced an early Watson homestead, and being in the latest fashion in 1880, it promoted the importance of the builder, J.W. Watson, the prominent mill and store owner.

Also in a domestic scale is the area Schoolhouse (MC-46), two storys in height, three bays wide and one deep, with a side entry that indicates its original use. Greek Revival features are the wide freize at the cornice and panelled corner pilasters. The Moore's Corner Church at 8 Church Hill Road (MC-47) built in 1896, is in the Queen Anne style featuring an irregular outline, jerkin head rooflines, a porch with stick style board designs, turned spindle posts and scrolled brackets.

Moore's Corner is one of three "mill villages" in town, along with North Leverett and East Leverett. All three saw similar growth in the industrialization harnessing water power in the nineteenth century, and all have a number of similar Greek Revival houses.

## HISTORICAL SIGNIFICANCE - MOORE'S CORNER OF LEVERETT

It was the potential of the Sawmill River, gaining power in its downward drop from its source at Lake Wyola in its east-west run through the valley toward the Connecticut River, that was responsible for the settlement of the area known as Moore's Corner in the northeast section of Leverett.

Asa Moore built the first mill in 1789 on one of the Sawmill River's best sites; it was operational until 1935. Alven Moore came to Leverett in 1793 and built his mill nearby where North Leverett road and Dudleyville road converge. With his son, the A.J. Moore Sawmill and Box Factory operated for 100 years. The Moores were succeeded by John Wesley Watson, a local entrepreneur who added a grist mill, a large general store and post office. Efforts to rename the settlement from Moore's Corner to Watsonville failed, however.

Moore's Corner developed as a village secondary in size to North Leverett, where the Baptist Church was a strong influence. However, its location, midway between North Leverett and Lake Wyola, and intersecting Dudleyville and Rattlesnake Gutter road, provided a stopping place for travelers, including those en route to the health springs on nearby Mineral Mountain in Shutesbury.

The economic base of agriculture was supplemented by lumbering and mill activities. In 1881, Amos Howard constructed a brick charcoal kiln nearby, the first of its kind in Massachusetts, although charcoal had been made in pits on Brushy Mountain and commercially in East Leverett as early as 1825. Charcoal remained an important industry under the Howards through World War II. The 1880 census refers to Moore's Corner as "Slab City". The Moore's Corner School, started in 1815, combined church and state, with school taught on the first floor and church services held on the second floor, until 1896 when the Moore's Corner Church was built on the hill above the school.

Moore's Corner was at its peak at the turn of the century, with a new church, its school, and the active mills. Mr. Watson had just newly stocked the store, now the largest general store in Franklin County when, the night before Thanksgiving in 1909, it burned to the ground. It was succeeded by the LaClaire General Store, built across the road, which in turn combined with and was succeeded by the Village Co-op, now a large store built on the site of the former Dexter Moore home.

The sawmills have ceased, the post office has closed and the one remaining charcoal kiln no longer produces. However, the church and store remain active focal points. The village itself has remained nearly intact, with very little change or infill, maintaining a strong sense of community.